



**TOWN OF BLYTHEWOOD  
PLANNING COMMISSION AGENDA  
VIRTUAL MEETING  
MAY 4, 2020 – 6:00 PM**

Due to the threat of COVID-19, the Planning Commission will be using a virtual meeting platform called Zoom. The meeting will be live streamed to the public using YouTube Live. Please go to the Town of Blythewood website, <http://www.townofblythewoodsc.gov/> and click on the YouTube link to access the meeting. Comments/Questions, before or during the meeting, may be sent via email to [cookb@townofblythewoodsc.gov](mailto:cookb@townofblythewoodsc.gov)

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RICH MCKENRICK • MALCOLM GORDGE • MARCUS TAYLOR • DERREK PUGH •  
ERICA PAGE • ED KESSER • ERNESTINE MIDDLETON

- I. **CALL TO ORDER AND DECLARATION OF A QUORUM**
    - A. **NOTIFICATION AND POSTING OF THE AGENDA**
    - B. **ADOPTION OF THE AGENDA**
    - C. **PLEDGE OF ALLEGIANCE**
    - D. **APPROVAL OF MINUTES** – (March 2, 2020)
  - II. **CITIZENS TESTIMONY REGARDING ACTION ITEM**
  - III. **ACTION ITEMS**
    - A. **THE PARK AT BLYTHEWOOD (CREECH ROAD)** – Site Plan Review, TMS# 15100-05-06, Devin Blankenship
    - B. **ZONING MAP AMENDMENT**- Rezone property located at 10715 Wilson Blvd. from Rural District (RU) to Multi-Neighborhood Office District (MO), TMS# 15100-08-14, Taricka Taylor
    - C. **COMPREHENSIVE PLAN RE-WRITE** – Sub-Committee Appointments
  - IV. **OPEN CITIZEN COMMENT**
  - V. **ADJOURNMENT**
-

**BLYTHEWOOD PLANNING COMMISSION**  
**THE MANOR**  
**100 ALVINA HAGOOD CIRCLE**  
**BLYTHEWOOD, SOUTH CAROLINA**  
**MONDAY, MARCH 2, 2020**  
**6:00 PM**

MINUTES

**Members Present**

Rich McKenrick  
Ernestine Middleton  
Derrek Pugh  
Erica Page  
Marcus Taylor  
Malcolm Gordge

**Staff Present**

Brian Cook, Town Admin  
Melissa Cowan, Town Clerk

**Members Absent**

Ed Kesser

**Staff Absent**

Saralyn Yarbrough

I. **CALL TO ORDER**

The meeting was called to order by Co Chair McKenrick at 6:05 PM.

A. **DECLARATION OF A QUORUM**

Four Commissioners were present, constituting a quorum.

B. **NOTIFICATION AND POSTING OF MEETING AGENDA**

The Town Clerk confirmed the agenda was properly posted and the media notified.

C. **ADOPTION OF THE AGENDA**

Malcolm Gordge made a Motion to approve the agenda. The Motion was seconded by Marcus Taylor **All in favor; 6-0**

D. **PLEDGE OF ALLEGIANCE**

E. **APPROVAL OF MINUTES**

Marcus Taylor made a Motion to approve the minutes of November 4, 2019. The Motion was seconded by Derrek Pugh. **All in favor; 6-0**

## F. ELECTION

Malcom Gordge made a Motion to nominate Rich McKenrick as Chair of the Planning Commission. The Motion was seconded by Ernestine Middleton. **All in favor; 5-0**

Rich McKenrick made a Motion to nominate Malcolm Gordge as Co-Chair of the Planning Commission. The Motion was seconded by Ernestine Middleton. **All in favor; 5-0**

## II. CITIZENS TESTIMONY REGARDING ACTION ITEM

No Citizens signed in to speak.

## III. ACTION ITEMS

### A. ABNEY HILLS S/D PHASE 4 (SKETCH PLAN) – Richland County, TMS# 12400-02-04

Town Administrator Cook explained “the applicant has requested sketch plan approval for Abney Hills Phase 3 on 10-7-19. Secondary access onto Valley Estates Dr. from Mount Valley Road will continue to be an “Emergency Only” access point.

Access to Phase 4 Will be from Fulmer Road via Abney Estates Drive through the existing Abney Hills subdivision.

The sketch plan serves as a basis for the development of a preliminary plat. This phase of the subdivision process precedes the preparation of the preliminary plat or plan. A sketch plan constitutes a Site Specific Development Plan as contemplated by the South Carolina Vested Rights Act 287 of 2004.

The Blythewood Code of Ordinances requires that a traffic impact study be prepared for those subdivisions designed for 90 or more dwelling units. A traffic impact study is required to assess the impact that the proposed development would have upon road systems. A traffic impact study was provided.

Upon sketch approval and moving to creation of preliminary plat/construction plans, a pre-application meeting shall be required with the development staff of Richland County, the applicant, and the Town of Blythewood to discuss the project, Minimum street, curbs, surfacing, storm drainage, wetlands, flood, etc. Specifications shall be designed/reviewed to the satisfaction of Richland County.

No portion of a subdivision shall be approved for construction which is a designated wetland without prior approval from, and subject to the restrictions of, the U.S. Army Corps of Engineers.

Approval of a sketch plan does not authorize the commencement of land clearing or any other construction activity on the subdivision site. Approval shall be contingent on compliance with all relevant sections of the Blythewood Code of Ordinances and other regulatory authorities as applicable. Approval of outside agencies, as applicable, shall be the responsibility of the applicant/developer.

SCDOT was advised of the project. A final SCDOT determination will have to be made on the necessity of auxiliary lanes.

Richland County Fire Marshall, Sheriff's Department, Richland County District 2, new construction/engineering, and addressing have all been advised of the project.

The Planning Commission may wish to consider discussing open space reserved for active or passive recreation and provisions for maintenance. The Planning Commission may also wish to consider location of sidewalks and general description of street trees and lighting that will be provided.

Staff requests maximum lot coverage and accessory setbacks be provided with submittal of preliminary plats.

Shane Alford of Stanley Alford of Stanley Martin Homes estimated that construction and final build out of Phase 4, once started, would take between 3-5 years.

Following discussion the Planning Commission approved Abney Hills S/D Phase 4 (Sketch Plan).

Malcolm Gordge made a Motion to approve Abney Hills S/D Phase 4 Sketch Plan as presented. The Motion was seconded by Derrek Pugh. **All in favor; 6-0**

#### IV. DISSUSSION ITEM

##### A. COMPREHENSIVE PLAN

Following discussion the PC decided to place this item on next month's agenda as an action item to vote on an RFP for Consultant to assist with Comprehensive Plan.

#### V. OPEN CITIZEN COMMENT

No citizens signed in to speak.

#### VI. ADJOURNMENT

Ernestine Middleton made a Motion to adjourn the meeting at 7:05 PM. The Motion was seconded by Malcolm Gordge. **All in favor; 6-0**

Respectfully submitted,

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Melissa Cowan, Town Clerk



To: Planning Commission  
From: Staff  
Date: March 2, 2020  
Subject: The Park at Blythewood, LP (Site Plan Review)  
Location: Creech Road (TMS# 15100-05-06) (portion)  
Proposed Use: Multi-family Residential  
Zoning: Town Center (TC) Architectural Overlay District (AO)  
Total Area: +/- 2.86 acres

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The subject parcel at Creech Road where the proposed development is to take place (within the Town Center (TC) District) is +/- 2.86 acres in area and is located to the east of I-77. The proposed senior living facility will consist of 48 housing units (24 one-bedroom and 24 two-bedroom) in a three-story building. The development will have a single access point and be accessed exclusively from Creech Road. Multi-family housing is a permitted use in the Town Center (TC) District.

In the review of all group development plans, attention shall be given to internal vehicular and pedestrian circulation and the impact on the existing streets serving the development. The review can include requirements for spacing and location of driveway access, dedication of additional right-of-way on existing or proposed streets and roads to accommodate future widening projects, construction of acceleration and deceleration lanes on existing roads, construction of frontage roads, plant islands and other landscaping requirements, building orientation, screening to protect adjoining properties, character and location of lighting, or other requirements to mitigate traffic congestion and promote traffic and pedestrian safety.

A traffic impact study shall be prepared for review and approval by the Planning Commission as part of the site plan procedure for those group developments designed for 150 or more dwelling units, or a total non-residential gross floor area of 25,000 square feet or more. As such, no traffic impact study is required.

The Town of Blythewood tree preservation/landscaping requirements will be followed. Proper irrigation and maintenance of landscaping shall be required. The applicant shall work with staff to meet all landscaping requirements.

The preserved plus planted tree density shall meet the minimum of 30 units per acre. To determine compliance, a tree inventory will have to be established.

The site plan indicates one ingress/egress lane that will provide access to and from the site. SCDOT will need to review and approve all intersection and driveway designs.

The total number of parking spaces to be provided for the new development is 71, which includes 4 handicap accessible parking spaces. Minimum parking spaces required is 16, maximum 72.

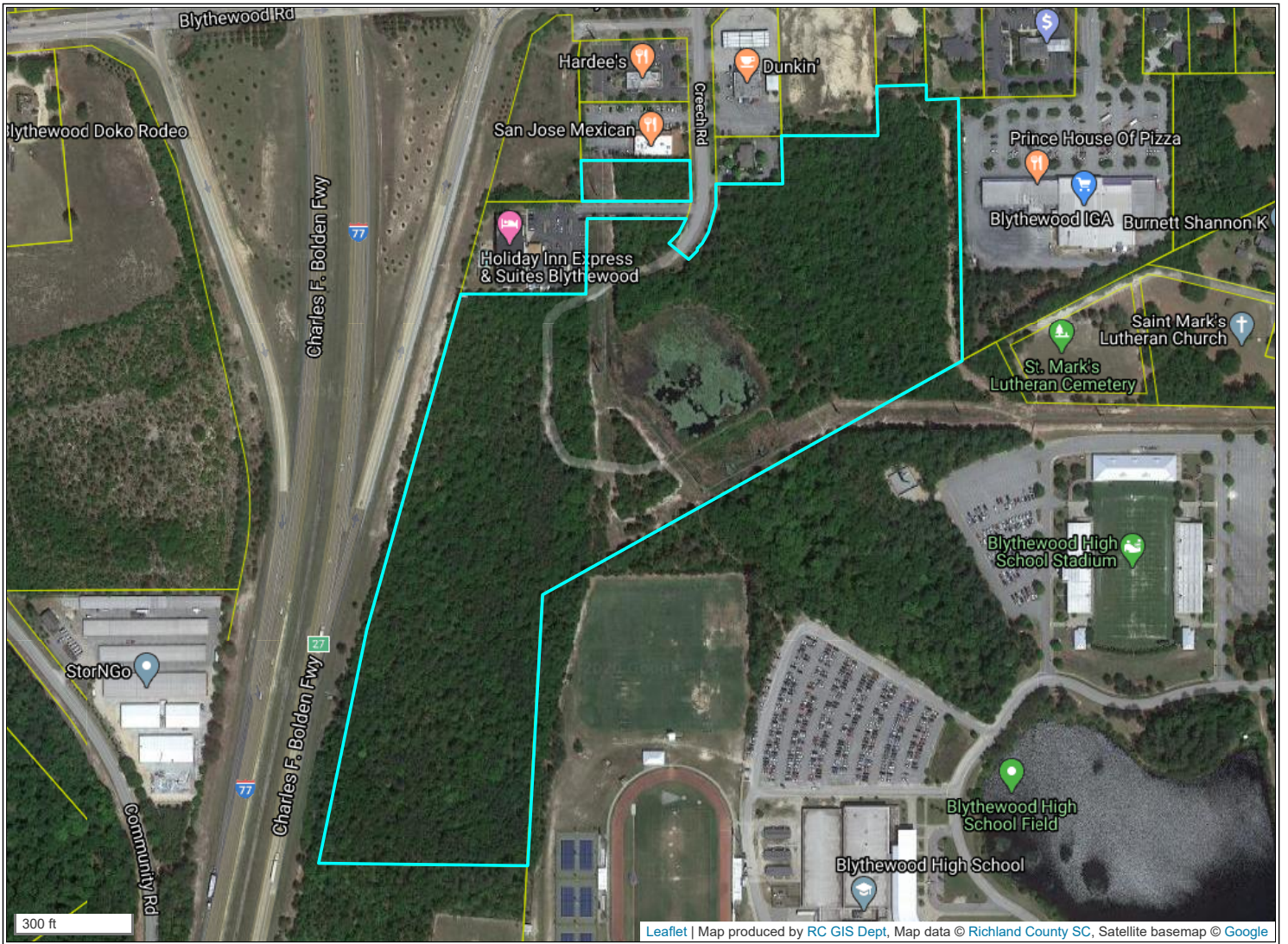
Projects in areas of high pedestrian use that provide improvements for safety, access, connectivity and walkability issues, that also increase walking as an alternative transportation mode are encouraged. As such, staff recommends pedestrian connectivity to the adjacent shopping center.

The applicant shall work with staff on the finalization of street cross sections/driveway design to accommodate the potential for a 95 ft. right of way on Creech (14.5 ft. clear zone from front property line).

Curb cuts and associated stormwater will be reviewed by and designed to the satisfaction of Richland County, SCDHEC, and SCDOT as applicable. All other federal, state, and local design regulations will be applicable.

This project will have to receive design approval from the Board of Architectural Review.

Construction shall be in substantial compliance with submitted plans and testimony given to the Planning Commission.



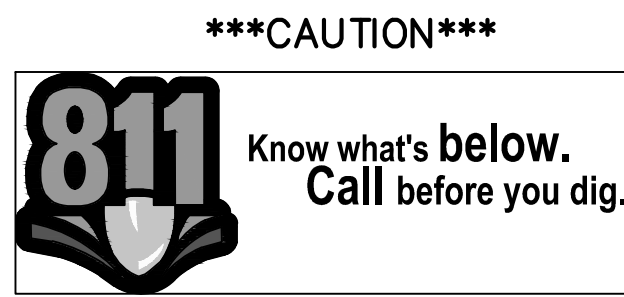


**SITE NOTES:**

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
- DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF PARKING STALL OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES.
- ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS.
- CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE 4" THICK WITH EXPANSION JOINTS AND SCORING PER DETAIL.
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
- ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
- ALL CURBING TO BE 18" FORMED CONCRETE CURBING PER DETAIL, WITH 3000 PSI CONCRETE.
- ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL.
- TRUNCATED DOMES ARE TYPICAL AT ALL HANDICAP RAMPS. HANDICAP SPACES WILL BE MARKED WITH A FREESTANDING OR WALL MOUNTED SIGN. SEE DETAIL SHEETS FOR PROPER STRIPING.

SITE PLAN KEYED NOTES	
1	18" CONCRETE CURB AND GUTTER
2	ASPHALT PAVING (SEE LEGEND FOR TYPE)
3	CONCRETE PAVING
4	DUMPSTER ENCLOSURE
5	STOP SIGN & 24" STOP BAR
6	PAVEMENT FLUSH WITH SIDEWALK
7	WHEEL STOP
8	ADA PARKING SPACE & ACCESS AISLES 1-1/2% (2% MAX) SLOPE IN ALL DIRECTIONS
9	HANDICAP SIGN
10	DETECTABLE WARNING SURFACE
11	4" PAINTED STRIPE
12	CONCRETE SIDEWALK
13	ADA RAMP
14	CURB TRANSITION
15	STRIPED PATH (4" PAINTED STRIPE)
16	GAZEBO (SEE ARCH PLANS)
17	TRAFFIC DIRECTIONAL ARROWS
18	1' WIDE CURB OPENING
19	CURB FLUME WITH SIDEWALK CROSS DRAIN
20	4' HIGH BLACK VINYL COATED CHAIN LINK FENCE WITH 4' WIDE DOUBLE SWING GATE

PARKING CALCULATIONS					
USE TYPE	USE CALCULATIONS	MINIMUM SPACES REQUIRED	MINIMUM CALCULATED SPACES	MAXIMUM SPACES ALLOWED	MINIMUM CALCULATED SPACES
PROPOSED BUILDING					
Retirement Housing Services	48 units	1.0 spaces per 3 unit	16	1.5 spaces per unit	72
		<b>TOTAL SPACES REQUIRED</b>	<b>16</b>		
		<b>TOTAL REGULAR SPACES PROVIDED</b>	<b>67</b>		
		<b>TOTAL ADA SPACES PROVIDED</b>	<b>4</b>		
		<b>TOTAL PARKING SPACES PROVIDED</b>	<b>71</b>		
Minimum Bicycle Spaces		n/a			



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CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	53.13	283.00	N03°50'57"E	53.06
C3	157.45	283.00	S25°10'00"W	155.43

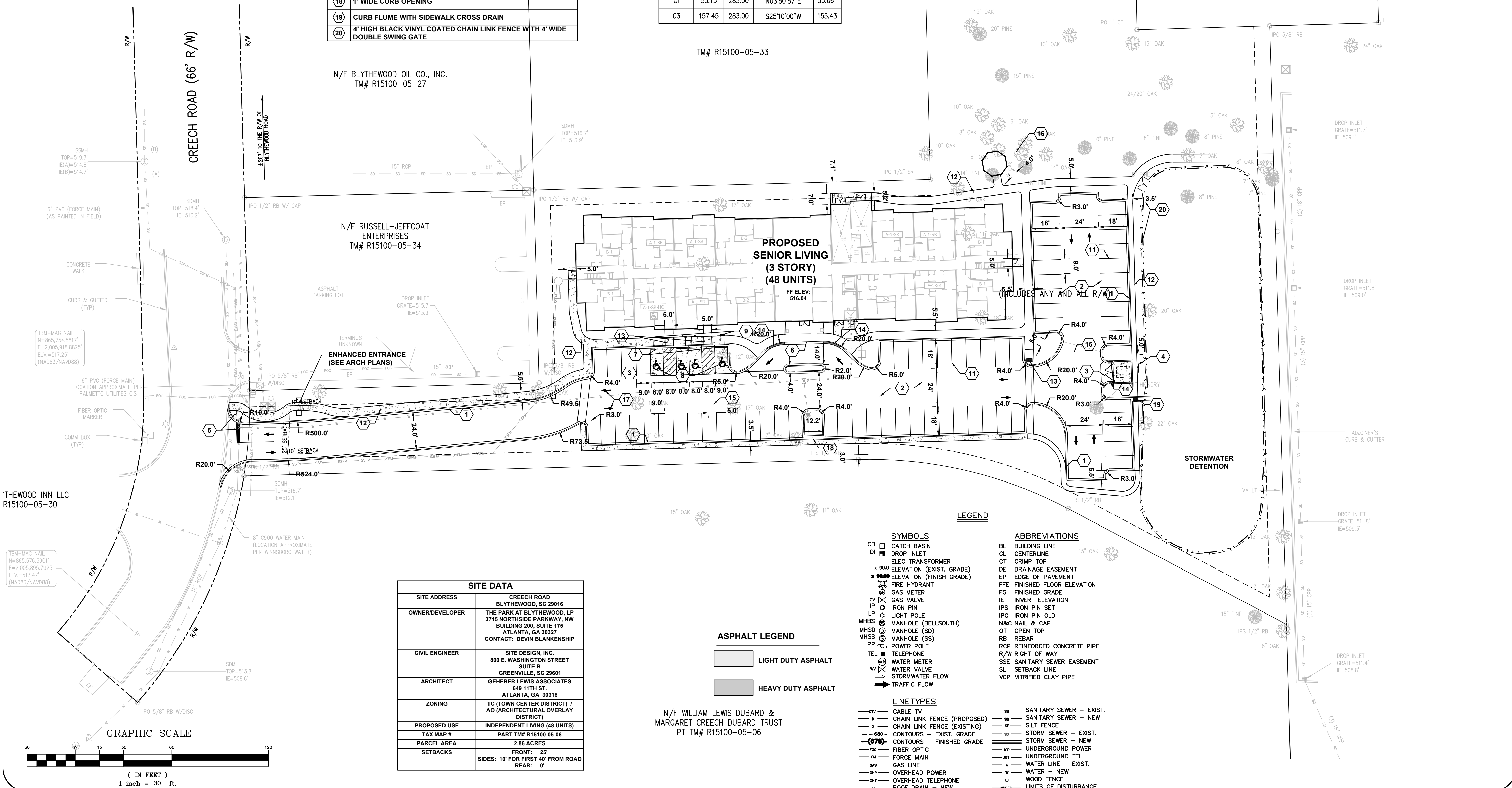
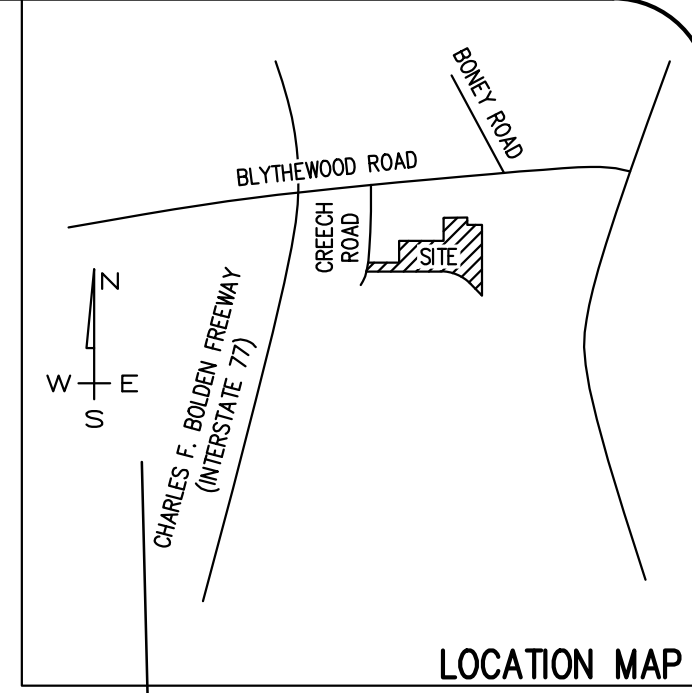
TM# R15100-05-33

N/F BLYTHEWOOD OIL CO., INC.  
TM# R15100-05-27

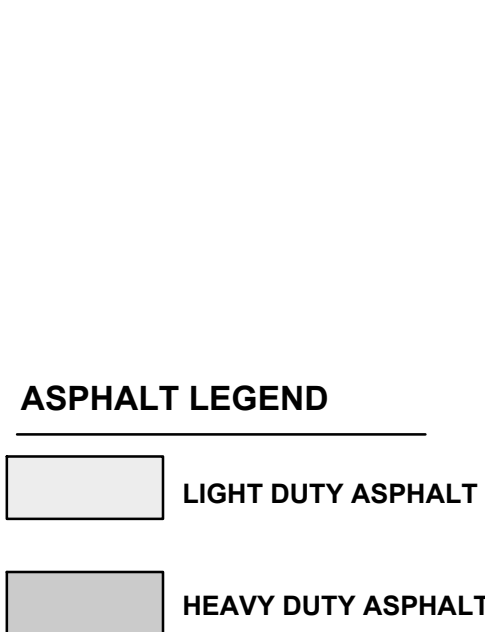
N/F RUSSELL-JEFFCOAT ENTERPRISES  
TM# R15100-05-34

N/F BWL HOLDINGS LLC  
TM# R15112-03-01

N/F JAMES A. FINKEL  
TM# R15112-03-02



**ASPHALT LEGEND**



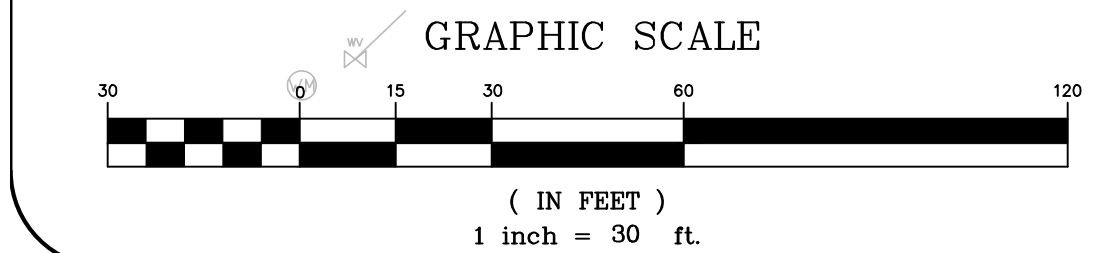
**LEGEND**

- |   |
|---|
| <p><b>SYMBOLS</b></p> <ul style="list-style-type: none"> <li>CB CATCH BASIN</li> <li>DI DROP INLET</li> <li>ELEC TRANSFORMER</li> <li>x 90.0 ELEVATION (EXIST. GRADE)</li> <li>x 80.0 ELEVATION (FINISH GRADE)</li> <li>FIRE HYDRANT</li> <li>GAS METER</li> <li>GV GAS VALVE</li> <li>IP IRON PIN</li> <li>LP LIGHT POLE</li> <li>MHS MANHOLE (BELLSOUTH)</li> <li>MHSD MANHOLE (SD)</li> <li>MHSS MANHOLE (SS)</li> <li>PP POWER POLE</li> <li>TEL TELEPHONE</li> <li>WM WATER METER</li> <li>WV WATER VALVE</li> <li>STORMWATER FLOW</li> <li>TRAFFIC FLOW</li> </ul> <p><b>ABBREVIATIONS</b></p> <ul style="list-style-type: none"> <li>BL BUILDING LINE</li> <li>CL CENTERLINE</li> <li>CT CRIMP TOP</li> <li>DE DRAINAGE EASEMENT</li> <li>EP EDGE OF PAVEMENT</li> <li>FFE FINISHED FLOOR ELEVATION</li> <li>FG FINISHED GRADE</li> <li>IE INVERT ELEVATION</li> <li>IPS IRON PIN SET</li> <li>IPO IRON PIN OLD</li> <li>N&amp;C NAIL &amp; CAP</li> <li>OT OPEN TOP</li> <li>RB REBAR</li> <li>RCP REINFORCED CONCRETE PIPE</li> <li>R/W RIGHT OF WAY</li> <li>SSE SANITARY SEWER EASEMENT</li> <li>SL SETBACK LINE</li> <li>VCP VITRIFIED CLAY PIPE</li> </ul> <p><b>LINETYPES</b></p> <ul style="list-style-type: none"> <li>-C- CABLE TV</li> <li>-X- CHAIN LINK FENCE (PROPOSED)</li> <li>-X- CHAIN LINK FENCE (EXISTING)</li> <li>-680- CONTOURS - EXIST. GRADE</li> <li>-678- CONTOURS - FINISHED GRADE</li> <li>-F- FIBER OPTIC</li> <li>-FM- FORCE MAIN</li> <li>-GAS- GAS LINE</li> <li>-OP- OVERHEAD POWER</li> <li>-OT- OVERHEAD TELEPHONE</li> <li>-RD- ROOF DRAIN - NEW</li> <li>-SS- SANITARY SEWER - EXIST.</li> <li>-NS- SANITARY SEWER - NEW</li> <li>-S- SILT FENCE</li> <li>-SO- STORM SEWER - EXIST.</li> <li>-SN- STORM SEWER - NEW</li> <li>-UGP- UNDERGROUND POWER</li> <li>-UGT- UNDERGROUND TEL</li> <li>-W- WATER LINE - EXIST.</li> <li>-WN- WATER - NEW</li> <li>-W- WOOD FENCE</li> <li>-MPS- LIMITS OF DISTURBANCE</li> </ul> |
|---|

SITE DATA	
SITE ADDRESS	CREECH ROAD BLYTHEWOOD, SC 29016
OWNER/DEVELOPER	THE PARK AT BLYTHEWOOD, LP 3715 NORTHSIDE PARKWAY, NW BUILDING 200, SUITE 175 ATLANTA, GA 30327 CONTACT: DEVIN BLANKENSHIP
CIVIL ENGINEER	SITE DESIGN, INC. 800 E. WASHINGTON STREET SUITE B GREENVILLE, SC 29601
ARCHITECT	GEHEBER LEWIS ASSOCIATES 649 11TH ST. ATLANTA, GA 30318
ZONING	TC (TOWN CENTER DISTRICT) / AO (ARCHITECTURAL OVERLAY DISTRICT)
PROPOSED USE	INDEPENDENT LIVING (48 UNITS)
TAX MAP #	PART TM# R15100-05-06
PARCEL AREA	2.86 ACRES
SETBACKS	FRONT: 25' SIDES: 10' FOR FIRST 40' FROM ROAD REAR: 0'

THEWOOD INN LLC  
R15100-05-30

TBM-MAG NAIL  
N=865,754.5817'  
E=2,005,918.8822'  
ELEV.=517.25'  
(NAD83/NAVDS88)



**SITE DESIGN, INC.**  
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

www.sitedesign-inc.com  
100 E. WASHINGTON ST. STE B  
GREENVILLE, SC 29601  
TEL: (864) 271-0902  
FAX: (864) 271-0902

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DATE: \_\_\_\_\_

NO. \_\_\_\_\_

10. \_\_\_\_\_

9. \_\_\_\_\_

8. \_\_\_\_\_

7. \_\_\_\_\_

6. \_\_\_\_\_

5. \_\_\_\_\_

4. \_\_\_\_\_

3. \_\_\_\_\_

2. \_\_\_\_\_

1. \_\_\_\_\_

NO. \_\_\_\_\_

**THE PARK AT BLYTHEWOOD SENIOR LIVING**

TOWN OF BLYTHEWOOD  
RICHLAND COUNTY  
SOUTH CAROLINA

THE PARK AT BLYTHEWOOD, LP  
3715 NORTHSIDE PWY, NW  
BLDG 200, STE 175  
ATLANTA, GA 30327

HORIZ. SCALE: 1" = 30'

VERT. SCALE: N/A

DESIGNED BY: WTB

DRAWN BY: WTB

CHECKED BY: CSW

DATE: 2/19/2020

s191265-base.dwg

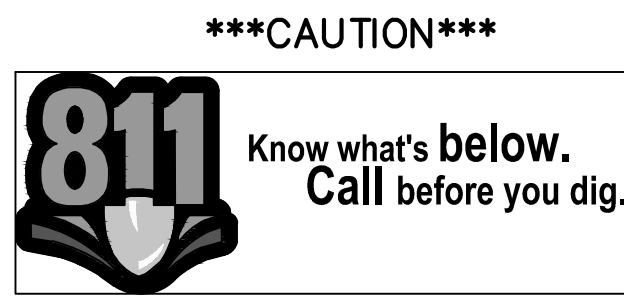
**SITE PLAN**

SHEET 3 OF XX

**C200**

**GRADING NOTES:**

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
3. PROOFROLLING AND COMPACTION TESTS SHALL BE ACCOMPLISHED IN THE FIELD TO TEST FILLED AREAS. INITIAL COMPACTION TESTS WILL BE CONDUCTED AT OWNER'S EXPENSE. RETESTING REQUIRED BECAUSE OF POOR COMPACTION SHALL BE CONDUCTED AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL SUPPLY RESULTS TO THE ENGINEER BEFORE ANY PRELIMINARY AND/OR FINAL APPROVALS.
4. THE GRADING CONTRACTOR SHALL PROOFROLL THE CONSTRUCTION AREA WITH HEAVY RUBBER-TIRED EQUIPMENT. ALL SOFT SPOTS SHALL BE STABILIZED BY FURTHER COMPACTION EFFORT OR UNDERCUT AND BACKFILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
5. EARTHWORK SHALL BE TO THE GRADES AND LINES SHOWN. EXISTING AND PROPOSED CONTOUR INTERVALS ARE AT 1'.
6. ALL NEW ELEVATIONS SHOWN ARE FINISH ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT THE APPROPRIATE AMOUNT TO ESTABLISH SUBGRADE ELEVATION.
7. WALL ELEVATIONS WHERE NOTED ARE TOP OF WALL AND FINISH GRADE AT BOTTOM OF WALL. SEE RETAINING WALL PLANS FOR DETAILED CONSTRUCTION INFORMATION.
8. CONTRACTOR SHALL REMOVE TOPSOIL AS NECESSARY (MINIMUM OF 4") TO PROVIDE ADEQUATE SUBGRADE FOR ROADWAYS.
9. ALL EXCAVATION SHALL BE "UNCLASSIFIED EXCAVATION". ALL NEW FILL AND UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-998). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-998).
10. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
11. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED, AND SHALL CONFORM TO SCDOT SPECIFICATIONS. ALL JOINTS SHALL BE TONGUE AND GROOVE WITH MASTIC MATERIAL.
12. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE DRAINAGE BOX WITH SOLID WALL PER SCDOT STANDARD DRAWING 719-17A OR APPROVED EQUAL.
13. ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAYS, INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
14. STANDING GRASS MUST BE EVIDENT IN AREAS THAT WERE SEED.
15. AN AS-BUILT CERTIFICATION OF THE STORMWATER MANAGEMENT SYSTEM WILL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE SITE. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR THE DELAYS RESULTING FROM NON-COMPLIANCE WITH THE DESIGN DRAWINGS.

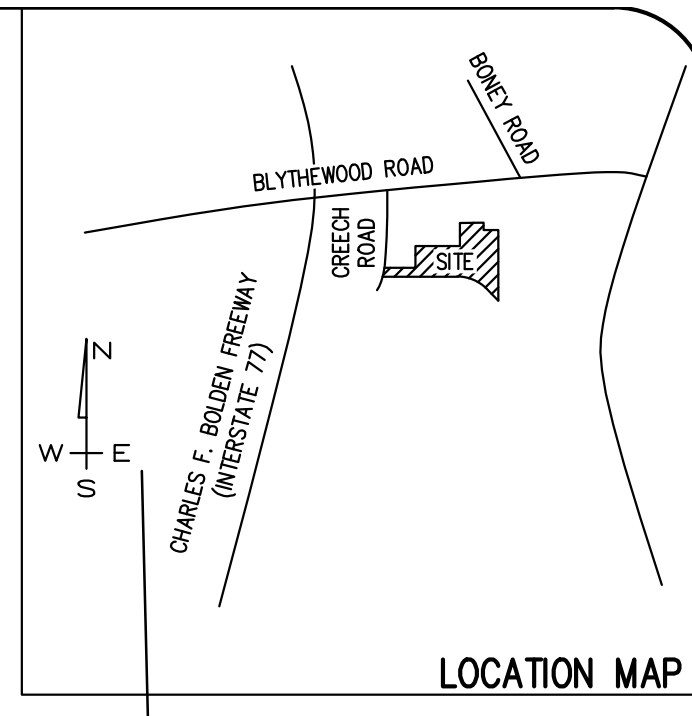


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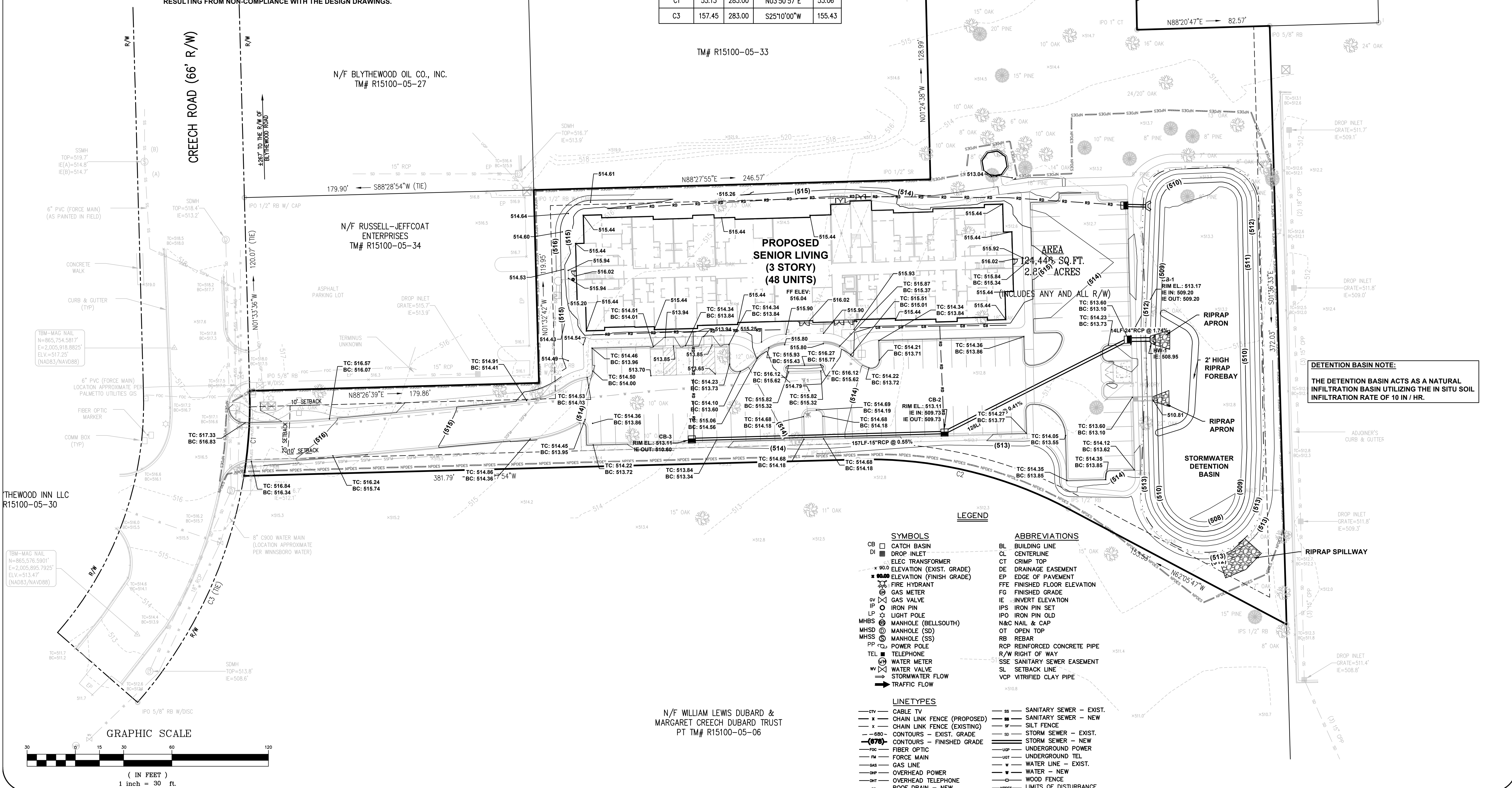
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C1	53.13	283.00	N03°50'57"E	53.06
C3	157.45	283.00	S25°10'00"W	155.43

**NOTES:**

1. SLOPES WITHIN ADA PARKING AREAS CANNOT EXCEED 2% IN ANY DIRECTION. ALL ADA PARKING AREAS ARE TO BE CONSTRUCTED WITH CONCRETE.
2. SIDEWALK CROSS SLOPES ARE NOT TO EXCEED 2%.
3. ANY SIDEWALK EXCEEDING 5% RUNNING SLOPE IS CONSIDERED A RAMP. ANY RAMP RISING GREATER THAN 6" MUST HAVE AN ADA APPROVED HANDRAIL ON BOTH SIDES.
4. ANY EXCESS SOIL HAULED OFF-SITE MUST BE TO AN APPROVED PERMITTED SITE.
5. SPOT ELEVATIONS SHOWN DENOTE BOTTOM OF CURB, TOP OF ASPHALT, OR GROUND SURFACE ELEVATION UNLESS OTHERWISE NOTED.
6. TC = TOP OF CURB / BC = BOTTOM OF CURB.
7. TW = TOP OF WALL / BW = BOTTOM OF WALL.
8. BUILDING DOWNSPOUTS WILL DISCHARGE AT SPLASH BLOCKS.



TBM-MAG NAIL  
N=865,999.5831'  
E=2,005,910.1013'  
ELEV.=519.15'  
(NAD83/NAVDS88)



TM# R15100-05-33

N/F BLYTHEWOOD OIL CO., INC.  
TM# R15100-05-27

N/F RUSSELL-JEFFCOAT ENTERPRISES  
TM# R15100-05-34

THE WOOD INN LLC  
R15100-05-30

N/F WILLIAM LEWIS DUBARD & MARGARET CREECH DUBARD TRUST  
PT TM# R15100-05-06

PT TM# R15100-05-06

- SYMBOLS**
- CB CATCH BASIN
  - DI DROP INLET
  - ELEC TRANSFORMER
  - ELEVATION (EXIST. GRADE)
  - ELEVATION (FINISH GRADE)
  - FIRE HYDRANT
  - GAS METER
  - GAS VALVE
  - IRON PIN
  - IRON PIN SET
  - IRON PIN OLD
  - MANHOLE (BELLSOUTH)
  - MANHOLE (SD)
  - MANHOLE (SS)
  - POWER POLE
  - TELEPHONE
  - WATER METER
  - WATER VALVE
  - STORMWATER FLOW
  - TRAFFIC FLOW

- ABBREVIATIONS**
- BL BUILDING LINE
  - CL CENTERLINE
  - CT CRIMP TOP
  - DE DRAINAGE EASEMENT
  - EP EDGE OF PAVEMENT
  - FFE FINISHED FLOOR ELEVATION
  - FG FINISHED GRADE
  - IE INVERT ELEVATION
  - IPS IRON PIN SET
  - IPO IRON PIN OLD
  - REBAR
  - RCP REINFORCED CONCRETE PIPE
  - R/W RIGHT OF WAY
  - SSE SANITARY SEWER EASEMENT
  - SL SETBACK LINE
  - VCP VITRIFIED CLAY PIPE

- LINE TYPES**
- CABLE TV
  - x- CHAIN LINK FENCE (PROPOSED)
  - x- CHAIN LINK FENCE (EXISTING)
  - 680- CONTOURS - EXIST. GRADE
  - (678)- CONTOURS - FINISHED GRADE
  - foc- FIBER OPTIC
  - fm- FORCE MAIN
  - gas- GAS LINE
  - op- OVERHEAD POWER
  - ot- OVERHEAD TELEPHONE
  - rd- ROOF DRAIN - NEW
  - ss- SANITARY SEWER - EXIST.
  - ns- SANITARY SEWER - NEW
  - sf- SILT FENCE
  - so- STORM SEWER - EXIST.
  - sn- STORM SEWER - NEW
  - usp- UNDERGROUND POWER
  - ut- UNDERGROUND TEL
  - w- WATER LINE - EXIST.
  - wn- WATER LINE - NEW
  - wf- WOOD FENCE
  - npes- LIMITS OF DISTURBANCE

**DETENTION BASIN NOTE:**  
THE DETENTION BASIN ACTS AS A NATURAL INFILTRATION BASIN UTILIZING THE IN SITU SOIL INFILTRATION RATE OF 10 IN / HR.

**SITE DESIGN, INC.**  
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

www.sitedesign-inc.com  
100 E. WASHINGTON ST. STE B  
GREENVILLE, SC 29601  
TEL: (864) 271-0900  
FAX: (864) 271-0902

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SC. REG. NO. 24201

**THE PARK AT BLYTHEWOOD SENIOR LIVING**  
TOWN OF BLYTHEWOOD  
RICHLAND COUNTY  
SOUTH CAROLINA

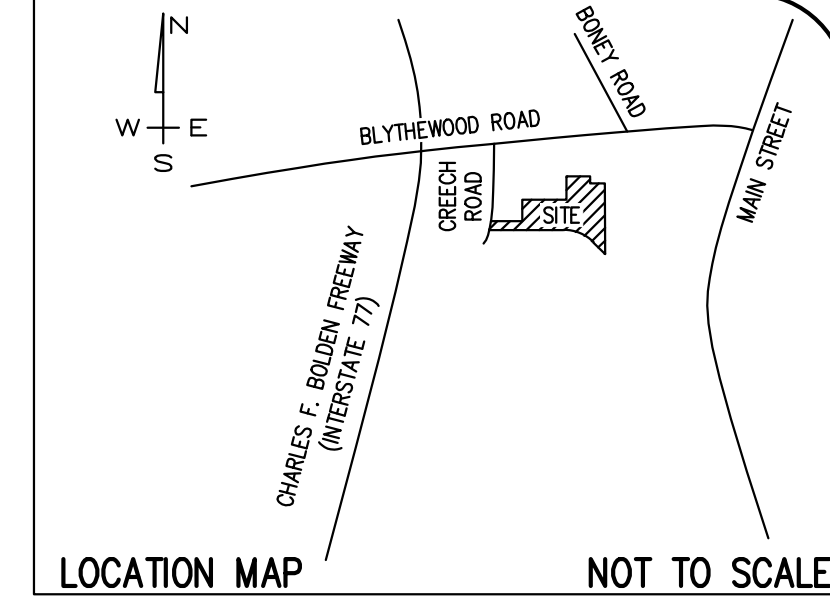
THE PARK AT BLYTHEWOOD, LP  
375 NORTHSIDE PWY, NW  
BLDG 200, STE 175  
ATLANTA, GA 30327

HORIZ. SCALE: 1" = 30'  
VERT. SCALE: N/A  
DESIGNED BY: WTB  
DRAWN BY: WTB  
CHECKED BY: CSW  
DATE: 2/19/2020

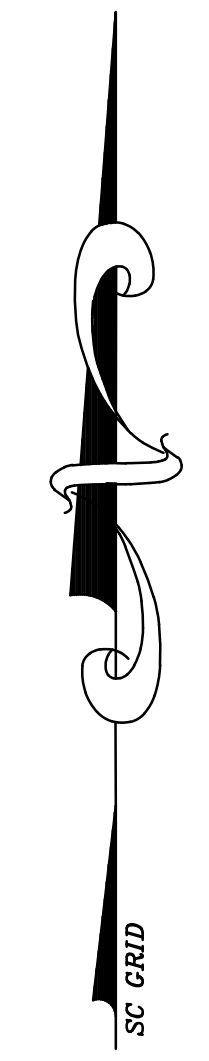
s191265-base.dwg  
**GRADING / STORMDRAINAGE PLAN**

SHEET 110F XX  
**C400**

UNRECORDED



N/F KJ INVESTMENT  
COMPANY LLC  
TM# R15100-05-29



SITE DATA	
SITE ADDRESS	CREECH ROAD BLYTHEWOOD, SC 29016
OWNER/DEVELOPER	THE PARK AT BLYTHEWOOD, LP 3715 NORTHSIDE PARKWAY, NW BUILDING 200, SUITE 175 ATLANTA, GA 30327 CONTACT: DEVIN BLANKENSHIP
CIVIL ENGINEER	SITE DESIGN, INC. 800 E. WASHINGTON STREET SUITE B GREENVILLE, SC 29601
ARCHITECT	GEHEBER LEWIS ASSOCIATES 649 11TH ST. ATLANTA, GA 30318
ZONING	TC (TOWN CENTER DISTRICT) / AO (ARCHITECTURAL OVERLAY DISTRICT)
PROPOSED USE	INDEPENDENT LIVING (48 UNITS)
TAX MAP #	PART TM# R15100-05-06
PARCEL AREA	2.86 ACRES
SETBACKS	FRONT: 25' SIDES: 10' FOR FIRST 40' FROM ROAD REAR: 0'

<p>○ TREE TO BE PROTECTED TYP. (AS LABELED AND ATTACHED CHART)</p> <p>✕ TREE TO BE REMOVED TYP. (AS LABELED)</p>	<p><b>LEGEND</b></p> <table border="0"> <tr> <th colspan="2">SYMBOLS</th> <th colspan="2">ABBREVIATIONS</th> </tr> <tr> <td>CB</td><td>CATCH BASIN</td> <td>BL</td><td>BUILDING LINE</td> </tr> <tr> <td>DI</td><td>DROP INLET</td> <td>CL</td><td>CENTERLINE</td> </tr> <tr> <td></td><td>ELEC TRANSFORMER</td> <td>CT</td><td>CRIMP TOP</td> </tr> <tr> <td>x 90.0</td><td>ELEVATION (EXIST. GRADE)</td> <td>DE</td><td>DRAINAGE EASEMENT</td> </tr> <tr> <td>x 100.0</td><td>ELEVATION (FINISH GRADE)</td> <td>EP</td><td>EDGE OF PAVEMENT</td> </tr> <tr> <td>⊕</td><td>FIRE HYDRANT</td> <td>FFE</td><td>FINISHED FLOOR ELEVATION</td> </tr> <tr> <td>⊕</td><td>GAS METER</td> <td>FG</td><td>FINISHED GRADE</td> </tr> <tr> <td>⊕</td><td>GAS VALVE</td> <td>IE</td><td>INVERT ELEVATION</td> </tr> <tr> <td>IP</td><td>IRON PIN</td> <td>IPS</td><td>IRON PIN SET</td> </tr> <tr> <td>LP</td><td>LIGHT POLE</td> <td>IPO</td><td>IRON PIN OLD</td> </tr> <tr> <td>MHBS</td><td>MANHOLE (BELLSOUTH)</td> <td>N&amp;C</td><td>NAIL &amp; CAP</td> </tr> <tr> <td>MHSD</td><td>MANHOLE (SD)</td> <td>OT</td><td>OPEN TOP</td> </tr> <tr> <td>MHSS</td><td>MANHOLE (SS)</td> <td>RB</td><td>REBAR</td> </tr> <tr> <td>PP</td><td>POWER POLE</td> <td>ROP</td><td>ROP REINFORCED CONCRETE PIPE</td> </tr> <tr> <td>TEL</td><td>TELEPHONE</td> <td>R/W</td><td>R/W RIGHT OF WAY</td> </tr> <tr> <td>WM</td><td>WATER METER</td> <td>SSE</td><td>SANITARY SEWER EASEMENT</td> </tr> <tr> <td>WV</td><td>WATER VALVE</td> <td>SL</td><td>SETBACK LINE</td> </tr> <tr> <td>→</td><td>STORMWATER FLOW</td> <td>VCP</td><td>VITRIFIED CLAY PIPE</td> </tr> <tr> <td>→</td><td>TRAFFIC FLOW</td> <td></td><td></td> </tr> </table>	SYMBOLS		ABBREVIATIONS		CB	CATCH BASIN	BL	BUILDING LINE	DI	DROP INLET	CL	CENTERLINE		ELEC TRANSFORMER	CT	CRIMP TOP	x 90.0	ELEVATION (EXIST. GRADE)	DE	DRAINAGE EASEMENT	x 100.0	ELEVATION (FINISH GRADE)	EP	EDGE OF PAVEMENT	⊕	FIRE HYDRANT	FFE	FINISHED FLOOR ELEVATION	⊕	GAS METER	FG	FINISHED GRADE	⊕	GAS VALVE	IE	INVERT ELEVATION	IP	IRON PIN	IPS	IRON PIN SET	LP	LIGHT POLE	IPO	IRON PIN OLD	MHBS	MANHOLE (BELLSOUTH)	N&C	NAIL & CAP	MHSD	MANHOLE (SD)	OT	OPEN TOP	MHSS	MANHOLE (SS)	RB	REBAR	PP	POWER POLE	ROP	ROP REINFORCED CONCRETE PIPE	TEL	TELEPHONE	R/W	R/W RIGHT OF WAY	WM	WATER METER	SSE	SANITARY SEWER EASEMENT	WV	WATER VALVE	SL	SETBACK LINE	→	STORMWATER FLOW	VCP	VITRIFIED CLAY PIPE	→	TRAFFIC FLOW		
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TOWN OF BLYTHEWOOD				
Town of Blythewood requires 30 TDF per acre minus acreage from stormwater management pond				
TOTAL SITE	2.86 Acres			
STORMWATER MANAGEMENT POND	0.37 Acres			
NET AREA FOR TDF CALCULATION	2.49 Acres			
TDF/ ACRE	30			
REQUIRED TDF	74.70 TDF			
TREES SAVED				
Quantity	Tree Species	Tree Caliper	Credit Units	Credits
1	OAK	6 in	2.4	2.4
2	OAK	10 in	4.8	9.6
1	OAK	13 in	6.4	6.4
1	OAK	15 in	7.2	7.2
2	OAK	16 in	7.6	15.2
1	OAK	24 in	18.6	18.6
1	PINE	15 in	7.2	7.2
1	PINE	20 in	9.2	9.2
1	PINE	24 in	18.6	18.6
			Existing TDF	94.4
Existing TDF	94.4			
Required TDF	74.70			
Post Development TDF	19.7			

\*\*\*CAUTION\*\*\*

Know what's below.  
Call before you dig.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

GRAPHIC SCALE

( IN FEET )  
1 inch = 30 ft.

**SITE DESIGN, INC.**  
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

www.sitedesign-inc.com  
100 E. WASHINGTON ST. STE B  
GREENVILLE, SC 29601  
TEL: (864) 271-0400  
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SC. REG. NO. 522

**THE PARK AT BLYTHEWOOD SENIOR LIVING**

TOWN OF BLYTHEWOOD  
RICHLAND COUNTY  
SOUTH CAROLINA

**THE PARK AT BLYTHEWOOD**  
275 NORTHSIDE PWY, NW  
BLDG 200, STE 175  
ATLANTA, GA 30327

**HORIZ. SCALE:** 1" = 30'  
**VERT. SCALE:** N/A

**DESIGNED BY:** JAW  
**DRAWN BY:** JAW  
**CHECKED BY:** AGB  
**DATE:** 2/19/2020

S191285-LANDSCAPE.dwg

**TREE PROTECTION PLAN**

SHEET 170F 18

# L000



GLA-ATL,LLC

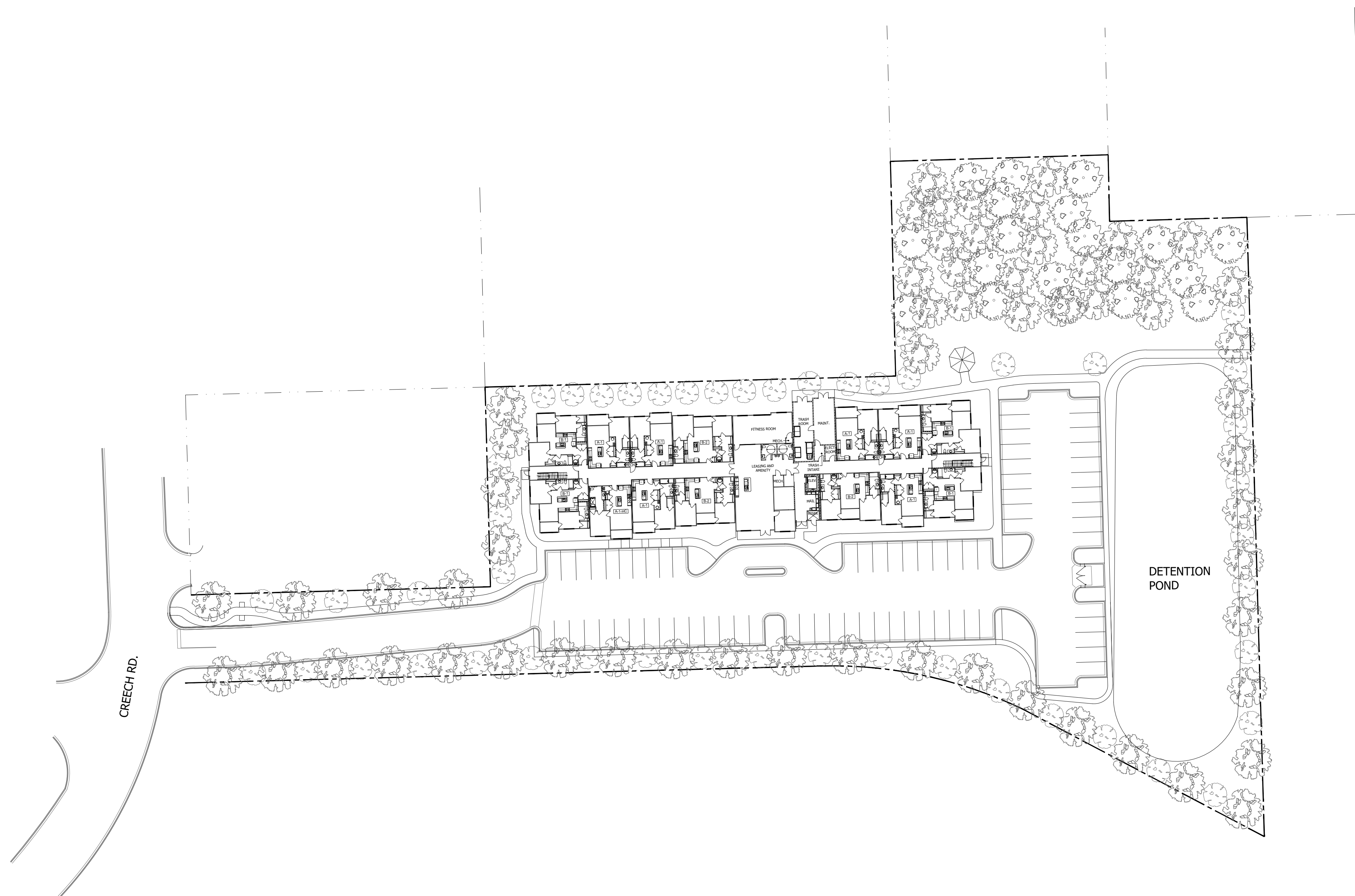
649 11TH STREET  
ATLANTA, GA 30318  
VOICE: 404.228.1958  
FAX: 404.228.8350

WWW.GLAATL.COM

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RELEASE DATES:

REV	#	DATE	DESCRIPTION



**UNIT MIX**

**DENSITY STUDY- FAMILY**  
ACREAGE: 2.86 AC

1 BR: 24 UNITS  
2 BR: 24 UNITS  
TOTAL: 48 UNITS

STORIES: 3

PARKING: 72 SPACES



STAMP:

CLIENT:

**PRESTWICK COMPANIES**  
3715 NORTHSIDE  
PARKWAY, NW  
BLDG 200, SUITE 175  
ATLANTA, GA 30327

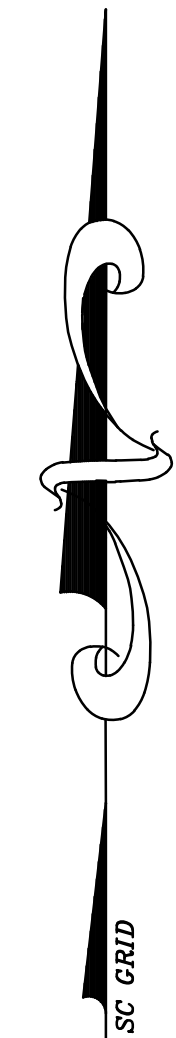
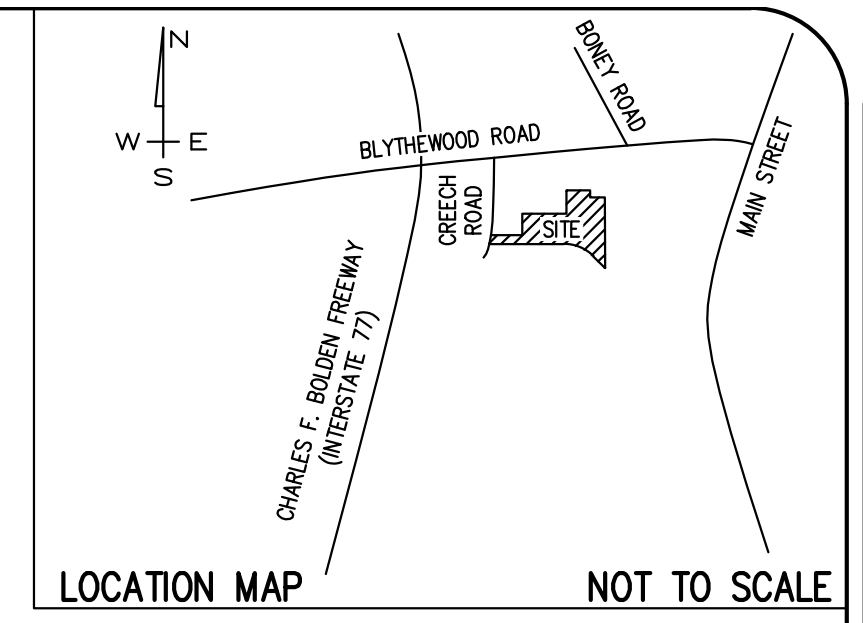
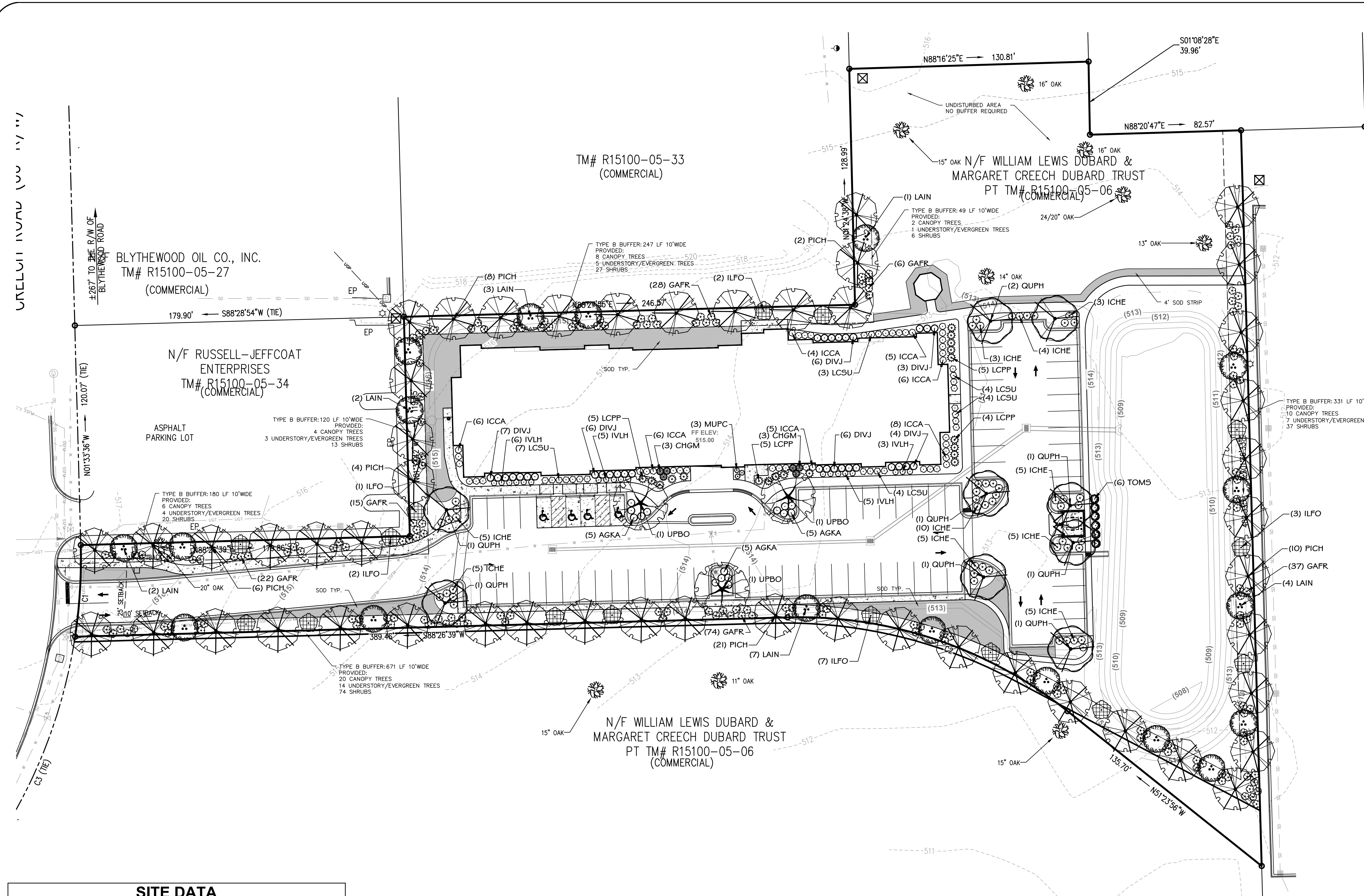
PROJECT:  
**THE PARK AT  
BLYTHEWOOD**  
  
**SENIOR LIVING**

DRAWING TITLE:

**PROPOSED SITE LAYOUT**

DRAWN BY:	CHECKED BY:
SCALE: 1:40	DATE: 04/15/2020
PROJECT NUMBER: 1907	
DRAWING NUMBER:	

NOT ISSUED FOR CONSTRUCTION



N/F KJ II  
COMP#  
TM# R151  
(COM)

SITE DATA	
SITE ADDRESS	CREECH ROAD BLYTHEWOOD, SC 29016
OWNER/DEVELOPER	THE PARK AT BLYTHEWOOD, LP 3715 NORTHSIDE PARKWAY, NW BUILDING 200, SUITE 175 ATLANTA, GA 30327 CONTACT: DEVIN BLANKENSHIP
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→	TRAFFIC FLOW		
LINETYPES		LINETYPES	
---	CABLE TV	---	SANITARY SEWER - EXIST.
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-GAS-	GAS LINE	---	WATER LINE - EXIST.
-OP-	OVERHEAD POWER	---	WATER - NEW
-OT-	OVERHEAD TELEPHONE	---	WOOD FENCE
-RD-	ROOF DRAIN - NEW	---	LIMITS OF DISTURBANCE

**LANDSCAPING REQUIREMENTS:**

TYPE B BUFFER (AS NOTED ON THIS PLAN)

TYPE C (2) INTERIOR PLANTING

- EACH ROW SHALL TERMINATE IN AN ISLAND OR PLANTER CONTAINING AT LEAST ONE CANOPY SHADE TREE AND A MINIMUM OF FIVE SHRUBS PER TREE. (AS SHOWN ON L100)

TYPE D SERVICE AREAS

- AT LEAST A 75% PERCENT OPAQUE SCREEN FROM THE GROUND TO AT LEAST 1 FOOT HIGHER THAN THE ITEM BEING SCREENED.

- COMPLETE PLANT SCHEDULE, DETAILS, AND GENERAL NOTES ON L101
- ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED. SEE CIVIL SET FOR GRASSING SCHEDULE.

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SC. REG. NO. 522

**THE PARK AT BLYTHEWOOD SENIOR LIVING**

CITY OF BLYTHEWOOD  
RICHLAND COUNTY  
SOUTH CAROLINA

THE PARK AT BLYTHEWOOD  
275 NORTHSIDE PWY, NW  
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VERT. SCALE: N/A  
DESIGNED BY: JAW  
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CHECKED BY: AGB  
DATE: 2/19/2020  
S191285-LANDSCAPE.dwg

LANDSCAPE PLAN

SHEET 170F 18

**L100**



THE PARK AT  
BLYTHEWOOD

Application for Review of Final Plan or Plat

TOWN OF BLYTHEWOOD

Date Filed: \_\_\_\_\_ Fee Paid: \_\_\_\_\_ (\$500.00) Application No. \_\_\_\_\_

(see Article 16, Land Development Regulations)

Instructions

This form must be completed for a review of any proposed development or subdivision of property under the Ordinance and Land Development Regulations. Please print or type. An application for a Zoning Permit (Form ZP) must also be completed and will accompany this document through the review process. If the applicant is not the property owner, the property owner must sign the Designation of Agent on Form ZP. If the application is on behalf of property owner(s), all owners must sign.

- An accurate, legible plat showing current property dimensions and locations of all existing structures, easements, and improvements on the property must be attached to an application for Final Plan or Plat Review and is hereby received as \_\_\_\_\_ Exhibit A.

THE APPLICANT HEREBY REQUESTS

- Final Review of Subdivision,
Final Review of Site Plan for a Group Development,
Final Review of Site Plan for a Planned Development,

Pursuant to Section 26-103 of the Zoning Ordinance, to develop the property described below in the following manner:

New construction of 48 senior housing units

REF: Form ZP Application #: \_\_\_\_\_ Filed by: \_\_\_\_\_
Form SKR Sketch Plan Review Completed? \_\_\_\_\_
Preliminary Plan Review Completed? \_\_\_\_\_
Distribution of Final Plan or Plat 30 days

- Planning Office (file copy)
Planning Commission
SC-DHEC
Town Engineering Firm
Winnsboro Water
City of Columbia Water and Sewer
Palmetto Sewer
Central Midlands COG
E-911 Coordinator

Final Plan or Plat approval shall constitute approval to obtain building permits and to record deeds for lots

Final Plats shall meet the minimum of standards of design set forth in these regulations and shall include the following information:

- Prepared by South Carolina Registered Land Surveyor at a convenient scale of not less than one inch equals 100 feet; adjustable depending upon lot sizes and total acreage but in no case shall be less than one inch equals 250 feet.

- Name.

# FORM FP

Revised 6/19/03

- Name of subdivision, property, development or property owner.
- Proposed name.
- Name of locality and county in which subdivision is located.
- Ownership.
  - Name and address, including telephone number, of legal owner or agent of property.
  - Name and address, including telephone number, of professional person(s) responsible for the design of the subdivision, development, buildings, improvements, and surveys.
- Location.
  - Vicinity map at a scale of not less than 1" equals 1,000 ft. showing relationship of the proposed development to surrounding development(s). Vicinity map shall include a north arrow and scale.
- Features.
  - Total acreage in the tract.
  - Graphic scale
  - North Arrow identified as magnetic, grid, or true north
  - Date

Boundaries of the tract to be developed or subdivided with all bearings and distances indicated. Boundary survey shall be to such a degree of accuracy that the error of closure is no greater than 1:2,500.

- The following existing conditions shall be stated on the plat:
  - Topography by contours of not less than two (2) feet and extending to at least one hundred (100) feet outside the subdivision.
  - Deed record names of all adjoining property owners.
  - Names of any adjoining developments or subdivisions.
  - Property lines within and adjoining the development.
  - Location and ROWs of all existing or platted streets and other public ways, railroads, easements, water courses and buildings either on or adjacent to the property to be developed. Specify whether utility lines are in easements or ROWs, and show locations of poles, towers, and substations.
  - Location of all political boundaries.
  - Location of streams, lakes, swamps, and lands subject to flood, based on a one hundred-year frequency flood. Lots so affected shall be identified and noted on the plat.
  - Location of existing adjoining property lines.
  - In the case of re-subdivisions, a copy of existing plat with proposed re-subdivisions superimposed thereon.
  - Size and location of existing sewers, water mains, drains, culverts, or other underground facilities within the street or within the right-of-way of streets or roads adjoining the tract. Grades and invert elevations of sewers shall be shown.
  - The acreage of each drainage area affecting the proposed development.
  - All elevations shall refer to MSL datum (if available) where public water and/or public sewers are to be installed. Topography in two (2) foot contour intervals.
  - Grading plan showing proposed finished contours.
  - Title, Name and Address, telephone, and signature of the SC Registered Engineer and Surveyor responsible for the plans, date, and all revision dates.
  - Bearing and distances for all boundaries. Sufficient data to determine readily and reproduce accurately on the ground the location, bearing and length of every street centerline, lot line, easement, and boundary line, whether curved or straight, including flood elevations. This shall include the radius, point of tangent, and other data for curved property lines and curved streets, to an appropriate accuracy and in conformance with good surveying practice.
  - Streets, alleys, rights-of-way, percent of grades, and all street names as approved by Planning Commission and the Richland County E-911 Coordinator. Streets that are as yet unapproved shall be so stated on the plat.
  - All dimensions to the nearest one-tenth (.1) of a foot and angles to the nearest minute or as required by "Minimum Standards for the Practice of Land Surveying in South Carolina" whichever is greater.



**FORM FP**

**Revised 6/19/03**

- Accurate description of the location of all monuments and markers.
- Proposed use of all parcels. If the proposed use is the same, this can be placed in a note on the final plat.
- Type, number, and location of all streetlights.
- Certifications.
  - Certification of Accuracy.
  - Certification of Ownership and Dedication for all streets, alleys, walks, parks, and other sites to public or private use as designated.

---

I (We) certify that the information contained on required documents submitted with this request is correct.

Date: 1/29/2020

(sign)

  
Applicant

(sign)

Applicant

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**Application for Review of Final Plan or Plat  
TOWN OF BLYTHEWOOD**



**To:** Planning Commission  
**From:** Staff  
**Date:** May 4, 2020  
**Subject:** Zoning Map Amendment – (2020-01-MA)  
RU (Rural District) to MO (Multi-neighborhood Office District)  
**Location:** 10715 Wilson Blvd.  
TMS# 15100-08-14  
(Total +/- 0.58 acres)

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The applicant, Taricka Taylor, is proposing to rezone the property at 10715 Wilson Blvd. from Rural District (RU) to Multi-neighborhood Office District (MO). The land area is approximately 0.58 acres in area. The associated future land use map in the Blythewood Comprehensive Plan currently designates the property as “Residential.” The Planning Commission’s role in these applications is to provide a recommendation to the Town Council.

**RU Rural District.** This zoning district is intended to include areas with acreage tracts in agriculture, forestry, animal husbandry with pastures, barns, barnyards, corrals, pens and associated facilities. Residential uses include manufactured homes on individual lots and limited commercial and service establishments are permitted.

**MO Multi-Neighborhood Office District.** This district is intended to provide a mix of medium-intensity office, civic, and residential uses. Compared to the NC Neighborhood Commercial District, the MO Multi-neighborhood Office District allows larger commercial floor areas. However, retail uses are restricted so as to facilitate location compatibility with adjacent medium-density residential districts.

The surrounding zoning districts:

North – RU (Rural District) and NC (Neighborhood Commercial District)

South – MO (Multi-neighborhood Office District)

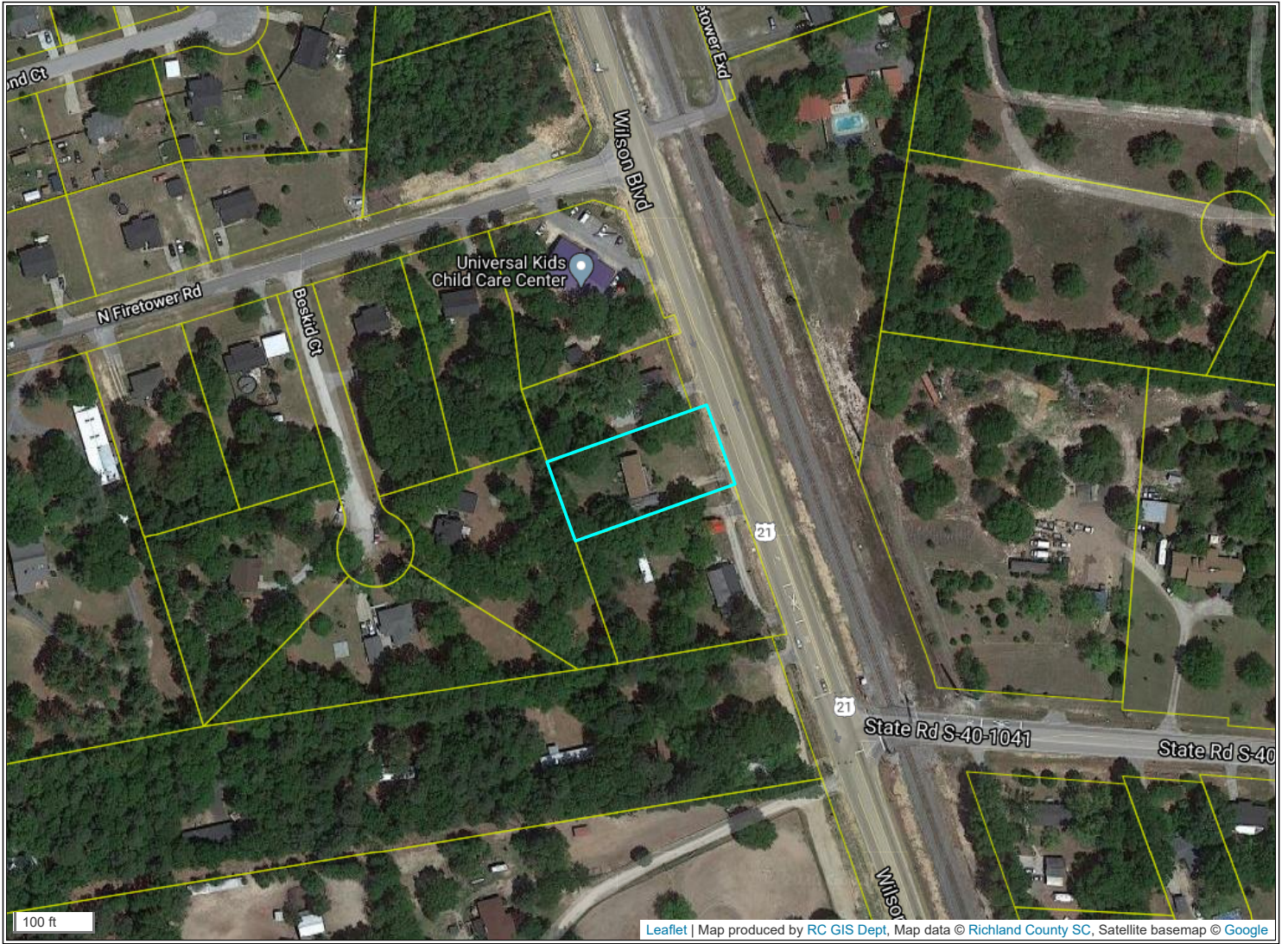
East – RU (Rural District) in unincorporated Richland County

West – RU (Rural District)

The Planning Commission's recommendation will be forwarded to Town Council for their consideration as part of the final decision.

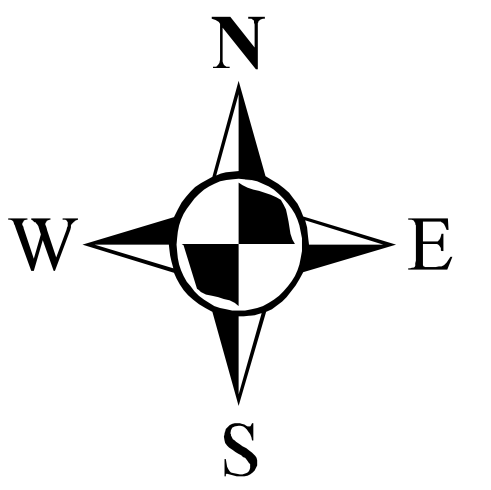
The subject property is located in a Residential/Greenbelt node per the future land use map (Exhibit 8.2), found in the Town of Blythewood Comprehensive Plan.

As such, staff's recommendation is denial of the rezoning request from RU (Rural) district to MO (Multi-neighborhood Office) district.



# Town of Blythewood Zoning Map

Version 12/21/17



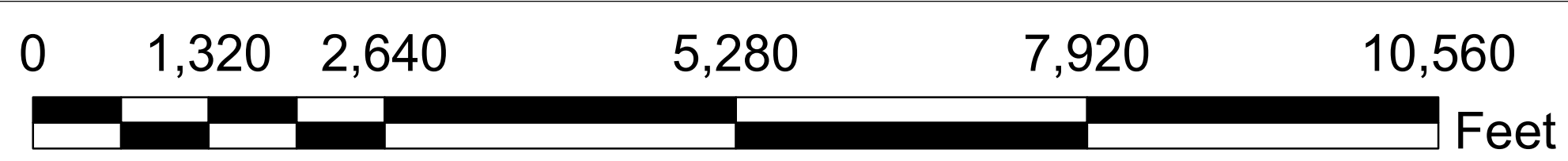
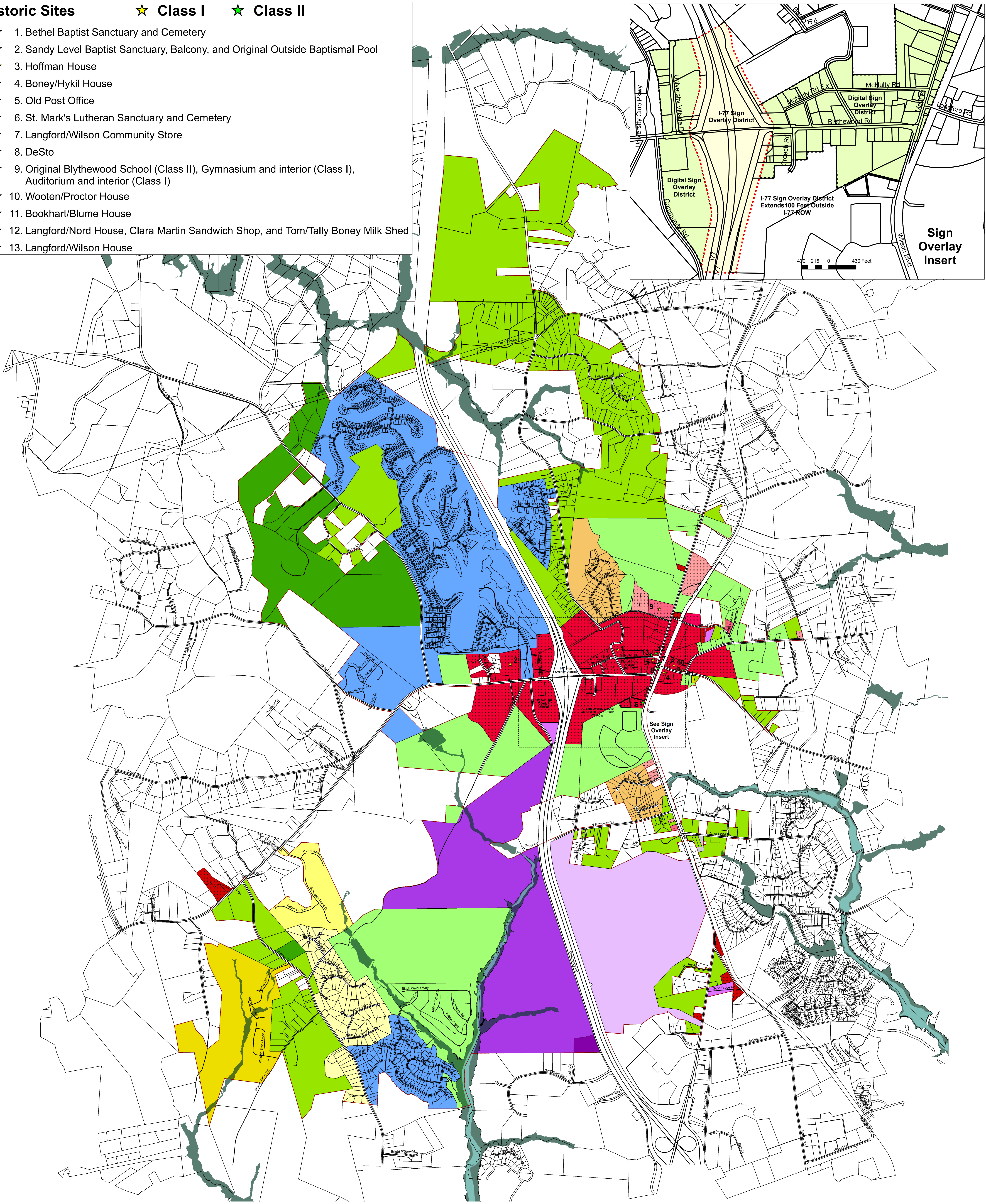
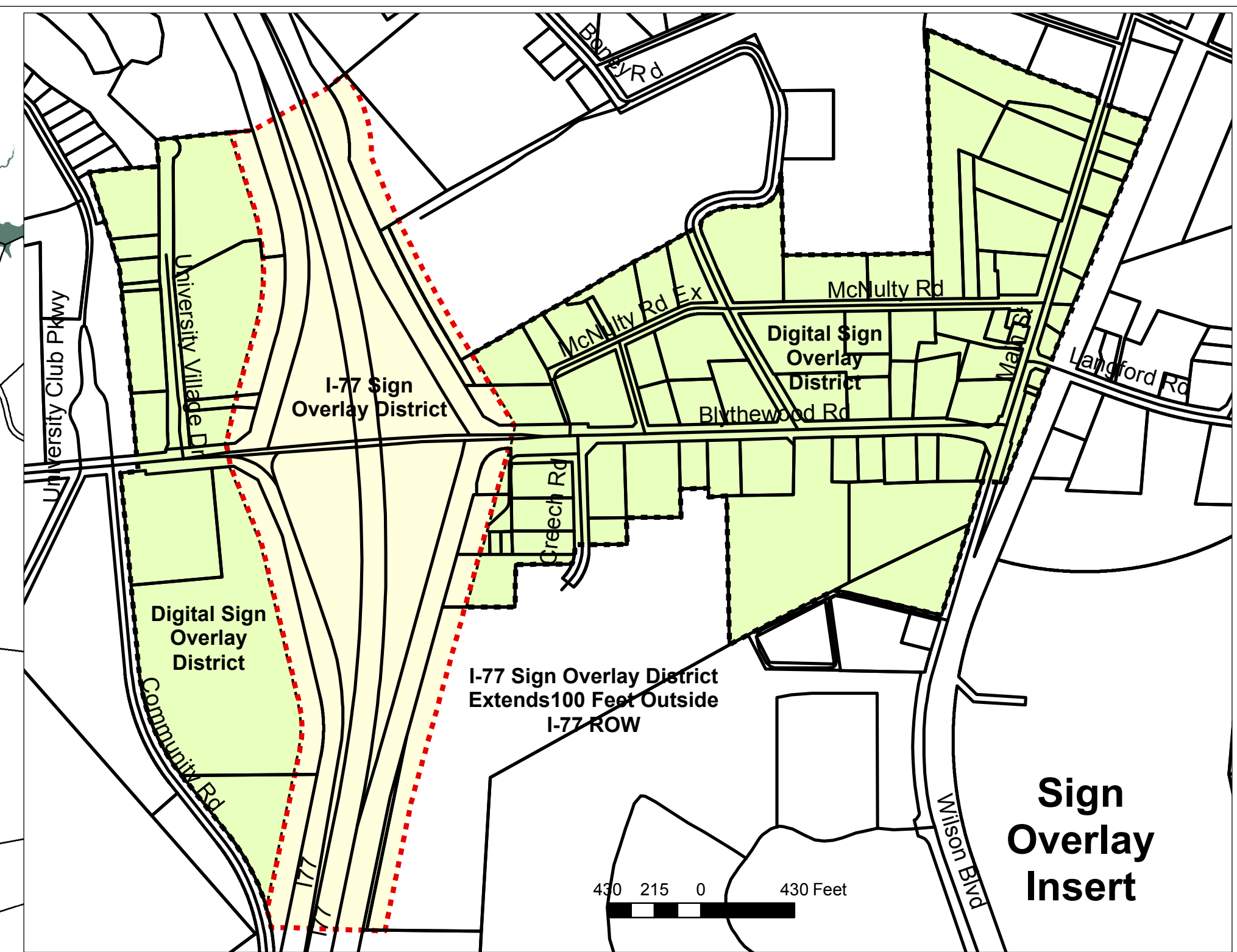
## Legend

RE - Rural Estate District	R-5 - General Residential District	LIRP - Light Industrial Research Park District	Municipal Boundary
RU - Rural District	NO - Neighborhood Office District	LI - Limited Industrial District	Parcels
D-1 - Development District	NC - Neighborhood Commercial District	LI-2 - Limited Industrial Two District	FPO-100-Year Floodplain Overlay District
R-40 - Low Density Residential District	MO - Multi-neighborhood Office District	BI - Basic Industrial District	FWO-100-Year Floodway Overlay District
R-20 - Low Density Single-Family Residential District	MC - Multi-neighborhood Commercial District	PD - Planned Development District	500-Year Floodplain
R-12 - Single-Family Residential District	TC - Town Center District	Annexed - Zoning Pending	
R-8 - 1 and 2-Family Residential District	CC - Community Commercial District	AO - Architectural Overlay District	

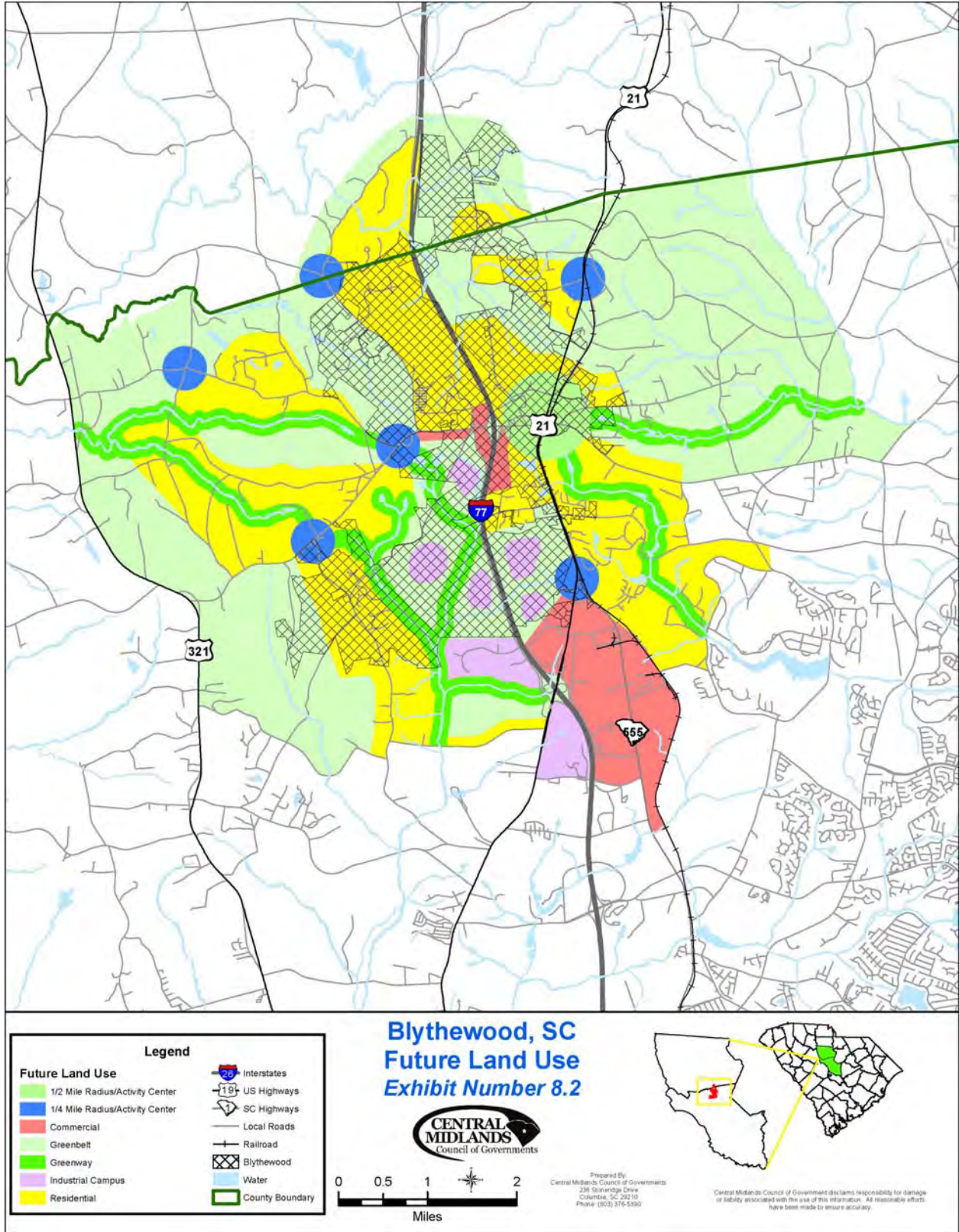
## Historic Sites

★ Class I    ★ Class II

- ★ 1. Bethel Baptist Sanctuary and Cemetery
- ★ 2. Sandy Level Baptist Sanctuary, Balcony, and Original Outside Baptismal Pool
- ★ 3. Hoffman House
- ★ 4. Boney/Hykil House
- ★ 5. Old Post Office
- ★ 6. St. Mark's Lutheran Sanctuary and Cemetery
- ★ 7. Langford/Wilson Community Store
- ★ 8. DeSto
- ★ 9. Original Blythewood School (Class II), Gymnasium and interior (Class I), Auditorium and interior (Class I)
- ★ 10. Wooten/Proctor House
- ★ 11. Bookhart/Blume House
- ★ 12. Langford/Nord House, Clara Martin Sandwich Shop, and Tom/Tally Boney Milk Shed
- ★ 13. Langford/Wilson House



**Exhibit 8.2 Future Land Use**



**§ 155.105 PERMITTED USES.**

<i>Rural Permitted Uses</i>	<i>NAICS Code</i>	<i>NAICS Description</i>	<i>Parking Spaces Required</i>
Single-family dwelling unit, including garage apartment on single lot (See conditional uses for manufactured homes)	814	Private households (See conditional uses for mobile or manufactured homes.)	2 for each unit
Agriculture, aquiculture, nurseries, livestock production, ranching, equestrian uses and forestry activities (except confined animal feeding - see special exception, § 155.107)	111	Crop production	None
	112 Except 112112 (confined animal feeding) 1122 (production hog and pig farms) and 1123 (poultry and egg production)	Animal production	
	113	Forestry and logging	
Roadside stands for sale of agricultural products	44523	Fruit and vegetable markets	1 per 150 sq. ft. of sales area
Neighborhood and community public park and recreational facilities, tennis court, swimming pool, ball field or golf course	712190	Nature parks	1 per 4 patrons at maximum capacity
	71211	Museums	
	71212	Historical sites	
	71391	Golf courses and country clubs	
	N/A	Public recreational facilities	
Bed and breakfast inn, tourist (guest) home	72119	Traveler accommodations	2 for owner plus 1 per guest room
Church, synagogue, temple or place of worship, including, religious education building, parsonage or parish house, off-street parking for members and visitors, recreation facilities, kindergarten or pre-school nursery, in permanent structures	8131	Religious organizations, churches and the like	1 for each 4 seats in main assembly room, or 1 for each 150 sq. ft of gross floor area, whichever requires the least number of spaces
Civic and social clubs	8134	Civic and social organizations	1 per 150 sq. ft. of gross floor area
Accessory use on same lot with principal use, as follows:			
(1) Private garage for motor vehicle;			
(2) Open parking area for motor vehicles may be used for 1 commercial vehicle of 1 ton or less per dwelling unit;			
(3) Shed for storage of building or lot maintenance equipment;			
(4) Barns, silos, outbuildings for agricultural uses and equipment;			
(5) Private swimming pool, including deck, bath house or cabana; boat dock;			
(6) Private garden; greenhouse; private tennis; outdoor recreation and picnic facilities; or			
(7) Animal kennels per animal control Chapter 90.			

(Ord. 5.202, passed 11-24-1981; Am. Ord. 5.285, passed 5-23-2005) Penalty, see §155.999

**§ 155.106 CONDITIONAL USES.**

<b><i>RU Conditional Uses</i></b> (approved by Zoning Administrator if all conditions are met)	<b><i>NAICS Code</i></b>	<b><i>NAICS Description</i></b>	<b><i>Parking Spaces Required</i></b>
Elementary and secondary schools, colleges, arts, business, technical and trade schools providing that all the following conditions are met:	61	Educational services	2 per classroom or office, plus 1 for each 4 seats in senior high auditorium; kindergarten: 1 per employee, plus 1 off-street loading space; all other: 1 per 3-students' capacity
(1) The use is compatible with the district;	611	Elementary and secondary schools	
(2) Type A (opaque screen/buffer) is required adjacent to a residential zoning;			
(3) Conditions imposed for safety, traffic and impact on the district; and			
(4) Exterior lighting directed inward and downward			
Cemetery, provided all the following conditions are met:	81222	Cemetery only	None
(1) Minimum 2 acre lot;			
(2) No crematorium or dwelling;			
(3) Front yard setback 25 ft. from street right-of-way; and			
(4) Non-illuminated sign not over 30 sq. ft. in area or 8 ft. in height.			
Temporary contractor office and equipment shed, residential construction, provided all following conditions are met:	2332	Residential building construction	1 for each 300 sq. ft. of office area
(1) Used in connection with construction on premises;			
(2) Must not cause traffic congestion or nuisance; and			
(3) For a term up to 1 year, may be renewed once.			
Temporary or permanent housing for individuals or families employed in the operation of an agricultural enterprise which includes an acreage of at least 100 acres, provided the following conditions are met:	N/A		2 spaces per unit
(1) All structures are located at least 200 ft. from a public road;			
(2) All structures shall have a minimum separation of at least 50 ft.; and			
(3) All structures are at least 200 ft. from the property line.			
Temporary Christmas tree sales, on vacant lot for a period not to exceed 45 days	N/A		None
Single wide or multi-section manufactured home on an individual lot provided all following conditions are met:			
(1) Wheels are removed and unit is placed on a foundation complying with building code, and skirting compatible with the manufactured home, is installed;			
(2) Unit is tied down for 80 mph wind resistance;			
(3) All mobile features are removed;			
(4) Two off-street parking spaces per unit are provided;			



(5) Owner shall certify in writing that unit meets HUD minimum standards at the time the unit was built and will be maintained in compliance with those HUD standards;
(6) Failure to bring unit into compliance with HUD standards, at the time the unit was built, within 15 days after notice of deficiencies is a violations of these conditions subject to penalties provided by the Municipal Code;
(7) The roof of a multi-section manufactured home shall have no less than a nominal 3:12 pitch; and
(8) Each manufactured home shall have porches and/or stoops at all entrances to the home built in accordance with the International Building Code, latest adopted additions.
Single wide or multi-section manufactured home as emergency housing, provided the following conditions are met:
(1) Temporary use may be permitted for 12 months while repairs are made to dwelling damaged by fire or natural disaster; and
(2) Permit may be extended for additional 6 months provided repairs are in progress and will be completed by expiration of 18 month period. No additional extension may be granted.
Customary home occupation in single-family dwelling, provided the following conditions are met:
(1) Conducted inside a dwelling or accessory building by resident family members with no more than 2 non-resident employees;
(2) Utilizes not more than 25% of total dwelling floor area, or occupy an accessory building;
(3) No change in exterior appearance of dwelling;
(4) No outside display of products;
(5) Creates no health or safety hazard, noise, offensive emissions, traffic hazard, unsightly condition or nuisance; and
(6) Activity is not visibly evident outside dwelling, except for a wall-mounted non-illuminated nameplate not over 2 sq. ft. in area.
Water towers, wastewater transmission facilities and related or accessory structures proved each of the following conditions are met:
(1) Structures must be enclosed by a 6 foot high fence; and
(2) A landscaped strip of at least 5 feet in width must be planted and maintained along the perimeter of the fence enclosure visible from adjacent property or right of way. NAICS Code and descriptions shall be made to conform. One off street parking space shall be required.

(Ord. 5.202, passed 11-24-1981; Am. Ord. 5.285, passed 5-23-2005; Am. Ord. 10.039, passed 12-20-2010) Penalty, see § 155.999

**§ 155.107 SPECIAL EXCEPTIONS.**

<b><i>RU Special Exceptions</i></b> (approved by Board of Zoning Appeals after hearing)	<b><i>NAICS Code</i></b>	<b><i>NAICS Description</i></b>	<b><i>Parking Spaces Required</i></b>
<p>Veterinary facilities and kennels, provided the Board of Zoning Appeals determines:</p> <p>(1) Approvals shall be conditioned on the applicant receiving all state and federal approvals;</p> <p>(2) Accessory structures that house animals and animals located outside are a minimum of 500 ft. from a property line;</p> <p>(3) The use would not constitute a safety hazard or traffic hazard; and</p> <p>(4) The use is not detrimental to adjacent land uses in the vicinity.</p>	54194 81291	Veterinary services, pet care	1 space per 150 sq. ft. of gross service area or sales space
<p>Public utilities, substation, (see §§ 155.355et seq. for communication tower) provided all of the following conditions are met:</p> <p>(1) Structures enclosed by 6 ft. fence;</p> <p>(2) No office, commercial operation or storage of vehicles or equipment is permitted; and</p> <p>(3) A landscaped strip at least 5 ft. wide is planted and maintained along all exterior lines.</p>	22112 2212 22131	Electric, gas, water, sanitary utilities	1 space
<p>Government building or facility, provided the Board of Zoning Appeals determines:</p> <p>(1) Improvements are a minimum of 100 ft. from residential property lines;</p> <p>(2) The use would not constitute a safety hazard or traffic hazard; and</p> <p>(3) The use is not detrimental to adjacent land uses in the vicinity.</p>	922120 922160 621960	Police Fire Ambulance service	1 for every 200 sq. ft. of floor area
<p>Pre-school nursery, provided the Board of Zoning Appeals determines:</p> <p>(1) Applicable state regulations are met;</p> <p>(2) Minimum 20,000 square foot lot;</p> <p>(3) Structures minimum of 25 ft. from residential property line;</p> <p>(4) Conditions imposed for safety, traffic, impact on district; and</p> <p>(5) The use is compatible with the district.</p> <p>(6) Within the existing permitted residential unit.</p> <p>(7) Only 1 family child care home in a 1-mile radius of another family child care home.</p> <p>(8) Family child care homes having a maximum capacity of up to 6 children, as designated by SC Dept. of Social Services.</p>	8211 8351		1 for each employee, plus any additional drop-off and pick-up parking as determined by the Board
<p>Single wide or multi-section manufactured home that meets all HUD standards maybe used as a temporary residence by the owner of the property during the construction of a permanent residence, provided the Zoning Board of Appeals makes the following findings:</p> <p>(1) The applicant has a valid building permit issued by the Town of Blythewood for the construction of a permanent residence on the property;</p> <p>(2) The building lot is of sufficient size to permit the location of the manufactured home in a way that both structures meet the minimum yard requirements;</p> <p>(3) The manufactured home will be occupied by the owner of the property who is constructing the permanent residence;</p> <p>(4) The proposed location does not adversely affect the neighborhood or the adjoining property owners;</p>			

(5) The Board of Appeals is satisfied that the permanent residence will be completed and occupied no later than 2 years from the date of the granting of the special exception; and

(6) The applicant will remove the manufactured home from the property within 30 days of the issuance of a certificate of occupancy for the permanent residence.

In addition to the above 6 requirements, the Zoning Board of Appeals may attach other conditions as it deems appropriate to protect adjacent properties and the integrity of the neighborhood.

The Zoning Board of Appeals may grant one 6-month extension of the permit for the manufactured home if substantial progress has been made on the completion of the permanent residence.

(Ord. 5.202, passed 11-24-1981; Am. Ord. 5.285, passed 5-23-2005; Am. Ord. 5.317, passed 5-19-2008; Am. Ord. 10.039, passed 12-20-2010) Penalty, see § 155.999



Single-family detached residential	C	C	C	C	X	X	§ 155.181(WW)
Accessory dwelling to single-family detached residential	C	C	C	C	X	X	§ 155.181(A)
Single-family attached residential	C	C	C	C	P	X	§ 155.181(VV)
Manufactured home residential	X	X	X	X	X	X	
Mobile home residential	X	X	X	X	X	X	
Multi-family residential	C	C	C	C	P	SE	§ 155.181(II)
Retirement housing services	C	C	C	C	P	SE	§ 155.181(RR)
Group home (9 or fewer)	P	P	P	P	X	X	
Group home (10 or more)	X	X	SE	SE	X	SE	§ 155.181(CC)
Rooming house	X	X	X	P	P	SE	§ 155.181(SS)
Religious institution, with less than 300 seats	P	P	P	P	P	X	
Religious institution, with 300 seats or more	X	X	C	C	P	X	§ 155.181(MM)
Cemetery	SE	C	C	C	SE	X	§ 155.181(P)
Museum	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	X	
Library	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	X	
Post office	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	X	
Public safety station (ambulance, fire, or sheriff)	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Community center	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	X	
Theater, with less than 500 seats	X	X	X	P	P	P	
Theater, with 500 seats or more	X	X	X	X	P	P	
Nursery school	X	X	P	P	P	X	
Elementary school	X	X	P	P	P	X	
Middle school	X	X	P	P	P	X	

High school	X	X	P	P	P	X	
Colleges and universities	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Adult education services	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Technical, trade, and other specialty schools	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Art, dance, drama, music, and martial arts schools	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(C)
Family child care home (up to 6)	P	P	P	P	X	X	
Group child care home (7 to 12)	X	X	P	P	P	X	
Child care center (13 or more)	X	X	SE 15,000 sq. ft.	SE 20,000 sq. ft.	P	X	§ 155.181(Q)
Adult day care	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	X	
Real estate agents and managers	P 5,000 sq. ft.	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(KK)
Insurance agency	P 5,000 sq. ft.	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(FF)
Legal services	P 5,000 sq. ft.	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(GG)
Engineering, architectural, and surveying services	P 5,000 sq. ft.	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(Z)
Accounting, auditing, and bookkeeping services	P 5,000 sq. ft.	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(B)
Government offices	P 5,000 sq. ft.	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(BB)
Conference center	X	X	SE 15,000 sq. ft.	SE 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(T)
Medical or dental clinic	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(HH)

Congregate living services	P	P	P	P	P	SE	§ 155.181(U)
Assisted-living services	SE 5,000 sq. ft.	SE 10,000 sq. ft.	P	P	P	SE	§ 155.181(E)
Life care or continuing care services	X	X	P	P	P	X	
Nursing services	X	X	P	P	P	X	
Hospital	X	X	X	X	P	P	
Funeral home	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Laundry and dry-cleaning drop-off	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Laundromat, self-service	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Seamstress or tailor shop	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(TT)
Beauty shop, barber shop, or nail salon	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(J)
Cosmetic and beauty supplies	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(X)
Optical	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(JJ)
Tanning salon, massage parlor, or day spa	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(YY)
Body piercing establishment	X	X	X	X	P 40,000 sq. ft.	P	
Tattoo parlor	X	X	X	X	P 40,000 sq. ft.	P	
Fitness center	X	X	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Automated teller machine	X	C	P	P	P	P	§ 155.181(F)
Bank, credit union, or savings institution	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(I)

Pawn shop	X	X	X	X	P 40,000 sq. ft.	P	
Check cashing establishment, deferred presentment lender	X	X	X	X	X	P	
Title loan lender	X	X	X	X	X	P	
Bail bond broker	X	X	X	X	X	P	
Antique store	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Consignment store	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Thrift store	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Flea market	X	X	X	X	X	P	
Newsstand	X	P	P	P	P	P	
Florist	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(AA)
Bakery	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(H)
Caterer	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(O)
Art dealers, suppliers, sales and service	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(D)
Tobacco or tobacconist	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Computer and software	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(S)
Camera and photographic supplies	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(N)
Clothing, jewelry, luggage, shoes, and the like	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(R)



Sporting goods, toy and hobby, and musical instruments	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(XX)
Drug store or pharmacy	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Book and other media store	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(M)
Office supplies	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Grocery store	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Hardware store	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Lawn and garden supplies store	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Furniture or home furnishings store	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Household appliances and electronics store	X	X	X	SE 20,000 sq. ft.	SE 40,000 sq. ft.	P	§ 155.181(EE)
Department store	X	X	X	X	P 40,000 sq. ft.	P	
Building materials, lumber yards, home centers	X	X	X	X	X	P	
Superstore or warehouse club	X	X	X	X	X	P	
Mini-warehouses	X	X	X	X	X	P	
Restaurant, walk-up service only	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(QQ)
Restaurant, indoor seating only	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(PP)
Restaurant, indoor and/or outdoor seating only	X	SE 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(OO)

Restaurant, indoor and/or outdoor seating, and/or drive-through, and/or drive-in, and/or walk-up service. Within the TC District, this land use category does not apply to those parcels fronting on Blythewood Road east of the Interstate 77 right-of-way	X	X	X	SE 20,000 sq. ft.	SE 40,000 sq. ft.	P	§ 155.181(NN)
Restaurant, indoor and/or outdoor seating, and/or drive-through, and/or drive-in, and/or walk-up service. This land use category only applies to those parcels fronting on Blythewood Road east of the Interstate 77 right-of-way.					P 40,000 sq. ft.		
Beer and wine store	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(L)
Liquor store	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Bar, nightclub, or cocktail lounge	X	X	X	X	P 40,000 sq. ft.	P	
Sexually Oriented Businesses	X	X	X	X	X	P	
Bed and breakfast	X	C	X	P	P	P	§ 155.181(K)
Hotel or motel	X	X	X	SE	P	P	§ 155.181(DD)
Convenience store (without gasoline sales or fast food sales)	X	C 10,000 sq. ft.	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(W)
Convenience store (with gasoline sales)	X	X	X	C 20,000 sq. ft.	C 40,000 sq. ft.	P	§ 155.181(V)
Automobile parking lot	X	X	X	P	P	P	
Automobile parts sales	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Automobile wash or detailing	X	X	X	C 20,000 sq. ft.	C 40,000 sq. ft.	P	§ 155.181(G)
Automobile rental and sales	X	X	X	X	X	P	
Automobile service and repair	X	X	X	X	X	P	
Automobile paint and body shop	X	X	X	X	X	P	
Truck stop	X	X	X	X	X	P	
Watercraft rental and sales	X	X	X	X	X	P	
Manufactured home sales	X	X	X	X	X	P	

Specialty trade contractors without storage of vehicles, equipment, or materials	X	X	P	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Building construction and land development without storage of vehicles, equipment, or materials	X	X	P	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Specialty trade contractors with storage of vehicles, equipment, or materials	X	X	X	X	X	P	
Building construction and land development with storage of vehicles, equipment, or materials	X	X	X	X	X	P	
Pet and animal sales or service (except veterinary)	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Veterinary services without boarding	X	C 10,000 sq. ft.	P 15,000 sq. ft.	P 20,000 sq. ft.	P 40,000 sq. ft.	P	§ 155.181(ZZ)
Veterinary services with indoor boarding	X	X	X	P 20,000 sq. ft.	P 40,000 sq. ft.	P	
Kennel, outdoor	X	X	X	X	X	X	
Park, passive public	P	P	P	P	P	P	
Recreational facilities, active public	X	X	X	P	P	P	
Farmers market	X	X	X	X	P 40,000 sq. ft.	P	
Nursery, retail	X	X	X	X	P 40,000 sq. ft.	P	
Nursery, production	X	X	X	X	X	P	
Recycling drop-off center	X	X	X	C	C	C	§ 155.181(LL)
Sewage pump station	SE	SE	SE	SE	SE	P	§ 155.181(UU)
Electrical substation	SE	SE	SE	SE	SE	P	§ 155.181(Y)
Wireless communication tower	SE	SE	SE	SE	SE	SE	§ 155.181(BBB)
Water tower	SE	SE	SE	SE	SE	P	§ 155.181(AAA)

(Ord. 5.202, passed 11-24-1981; Am. Ord. 5.300, passed 6-26-2006; Am. Ord. 5.369, passed 7-28-2009; Am. Ord. 2012.007, passed 12-17-2012; Am. Ord. 2017.010, passed 9-25-2017) Penalty, see § 155.999



## ZONING MAP AMENDMENT APPLICATION

Application Date: 2/27/20

### Fee Schedule

Conventional Map Amendment - \$100.00 for each 10 acres or portion thereof  
Planned Development Map Amendment - \$100.00 for the first 15 acres or portion thereof, plus \$100.00 for each additional 10 acres or portion thereof  
Deferral by Applicant - an additional 50% of the original application fee

### Applicant (check one)

- Adopted motion of Town Council
- Adopted motion of Planning Commission
- Zoning Administrator
- Owner of the property affected
- Agent authorized by the owner

### Owner of the Property Affected

Name(s): Taricka Taylor

Mailing Address: Taricka Taylor (IBS)  
10711-A Wilson Blvd  
Blythewood, SC 29016

Telephone Numbers: 803-412-0080  
803-900-8283

Email Address: taricka@interiorbusinessservices.com

Signature(s):

(OVER)

171 Langford Road  
PO Box 1004  
Blythewood, SC 29016  
www.townofblythewoodsc.gov  
803-754-0501

Zoning Map Amendment Application – Page 2

Agent Authorized by the Owner

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Telephone Numbers: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Email Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Property Affected

Tax Map Numbers: R15100-08-14

Property Address: 10715 Wilson Blvd.

Blythewood, SC 29016

Property Acreage: Lot B, 110 x 229

Current Zoning District: RU Rural District

Current Land Use: Residential Land

Proposed Zoning District: Multi Neighborhood Office District

Proposed Land Use: Commercial

Required Attachments

- Metes and bounds legal description
- Plat(s) in compliance with current Standards of Practice Manual for Surveying in South Carolina

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FOR USE BY TOWN OF BLYTHEWOOD STAFF

Submittal Date: \_\_\_\_\_ File Number: \_\_\_\_\_

Fee Received: \_\_\_\_\_ Received By: \_\_\_\_\_