



**TOWN OF BLYTHEWOOD
BOARD OF ARCHITECTURAL REVIEW AGENDA
OCTOBER 21, 2019 – 6:00 PM
DOKO MANOR
100 ALVINA HAGOOD CIRCLE
BLYTHEWOOD, SOUTH CAROLINA**

PAM DUKES • JIM MCLEAN • ALISHA COLEMAN • ALAN GEORGE • JOHN MILES •
DEBORAH HUMPHRIES

I. CALL TO ORDER AND DECLARATION OF A QUORUM

A. NOTIFICATION AND POSTING OF THE AGENDA

B. ADOPTION OF THE AGENDA

C. PLEDGE OF ALLEGIANCE

II. REGULAR AGENDA

A. APPROVAL OF MINUTES - (August 19, 2019)

B. 2019-06-COA – 221 Blythewood Road (TMS# 15100-05-33) Certificate of Appropriateness for construction of a Zaxby's restaurant (Robert Nutt) (TC) (AO)

C. 2019-07-COA – 152 Blythewood Road (TMS# 15112-03-03) Certificate of Appropriateness for construction of a State Farm Insurance Office (Sandy Khan) (TC) (AO)

D. 2019-08-COA – 11 Samuel Bookhart Lane (TMS# 15213-02-26) Certificate of Appropriateness for the alteration of the Blythewood Depot Building (Ray Hill) (TC) (AO)

E. CITIZEN COMMENTS

III. ADJOURNMENT

BOARD OF ARCHITECTURAL REVIEW

THE MANOR
100 ALVINA HAGOOD CIRCLE
BLYTHEWOOD, SC 29016
MONDAY, AUGUST 19, 2019
6:00PM

MINUTES

Members Present

Jim McLean, Co Chair
Alisha Coleman
John Miles
Alan George

Staff Present

Brian Cook, Town Administrator
Kirk Wilson, Building & Zoning Analyst
Saralyn Yarborough, Admin Assistant

Members Absent

Pam Dukes, Chair
Deborah Humphries

Staff Absent

Melissa Cowan, Town Clerk

I. CALL TO ORDER & DECLARATION OF A QUORUM

Co Chair McLean called the meeting to order at 6:02 PM and declared a quorum was present.

A. NOTICE AND POSTING OF AGENDA

Brian Cook confirmed the agenda was properly posted and the media notified.

B. APPROVAL OF AGENDA

Alan George made a Motion to approve the agenda. The Motion was seconded by John Miles. All in favor; 4-0

C. PLEDGE OF ALLEGIANCE

II. REGULAR AGENDA

A. APPROVAL OF MINUTES – (July 15, 2019)

Alan George made a Motion to approve the minutes of July 15, 2019. The Motion was seconded by John Miles. All in favor; 4-0

B. 2019-05-COA – 201 McNulty Street (TMS# 15213-04-01) Certificate of Appropriateness for a community picnic shelter (Thom Walker) (TC) (AO)

Brian Cook explained Trinity United Methodist Church, has requested COA

approval for the construction of a 30x60 community picnic shelter (+/- 1,800 sq. ft.) This project is before the BAR because as required under §155.316 of the zoning ordinance, the BAR has COA authority over structures located in the Town Center (TC) District portion of the Architectural Overlay (AO) District. The proposed project is designed to reflect the existing youth building located at the southeastern corner of the property. The intent is to blend the architectural characteristics of the youth building with the picnic shelter.

The picnic shelter shall consist of 4"x8" fiber-cement siding/paneling on each end, designed to closely match the existing youth building. The roof shall be constructed of a burnished slate metal. The proposed structure is compatible in style with the youth building, using similar materials and architectural detailing.

Alisha Coleman made a Motion to approve Certificate of Appropriateness. The Motion was seconded by Alan George. **All in favor; 4-0**

C. **CITIZENS COMMENTS**

No Citizens signed in to speak.

Ralph Walden stated that he would be resigning from his position as consulting architect to the BAR. He said the BAR should consider re-examining its masterplan to ensure approved projects coincide with the Town's overall vision and master plan.

Co Chair McLean suggested the BAR conduct training courses for BAR members. This would help BAR members gain knowledge required to make decisions on plan/projects that come to the Board for approval.

III. **ADJOURNMENT**

Co Chair McLean adjourned the meeting at 6:35 PM.

Respectfully submitted,

Melissa Cowan, Town Clerk



Memo

To: Board of Architectural Review
From: Staff
Date: October 21, 2019
Applicant: Robert Nutt (MRP Design Group, Inc.)
Subject: Certificate of Appropriateness
TC (Town Center District) AO (Architectural Overlay District)
Location: 221 Blythewood Road
TMS# 15100-05-33

The applicant, MRP Design Group, Inc. has submitted an application requesting Certificate of Appropriateness (COA) approval for a new commercial development located at 221 Blythewood Road. The proposed project includes the new construction of a Zaxby's restaurant and consists of +/- 3,652 square feet of commercial space dedicated to the restaurant.

This project is before the BAR because as required under Section 155.316 of the Blythewood Zoning Ordinance, the BAR has COA authority over structures located in the Town Center (TC) District portion of the Architectural Overlay (AO) District.

The design and configuration of the structure and its materials and colors shall be visually harmonious with the overall appearance of the Town Center Zoning District.

The proposed project must comply with the standards of §155.182 Town Center Zoning District Design Standards as set forth in the Blythewood Zoning Ordinance.

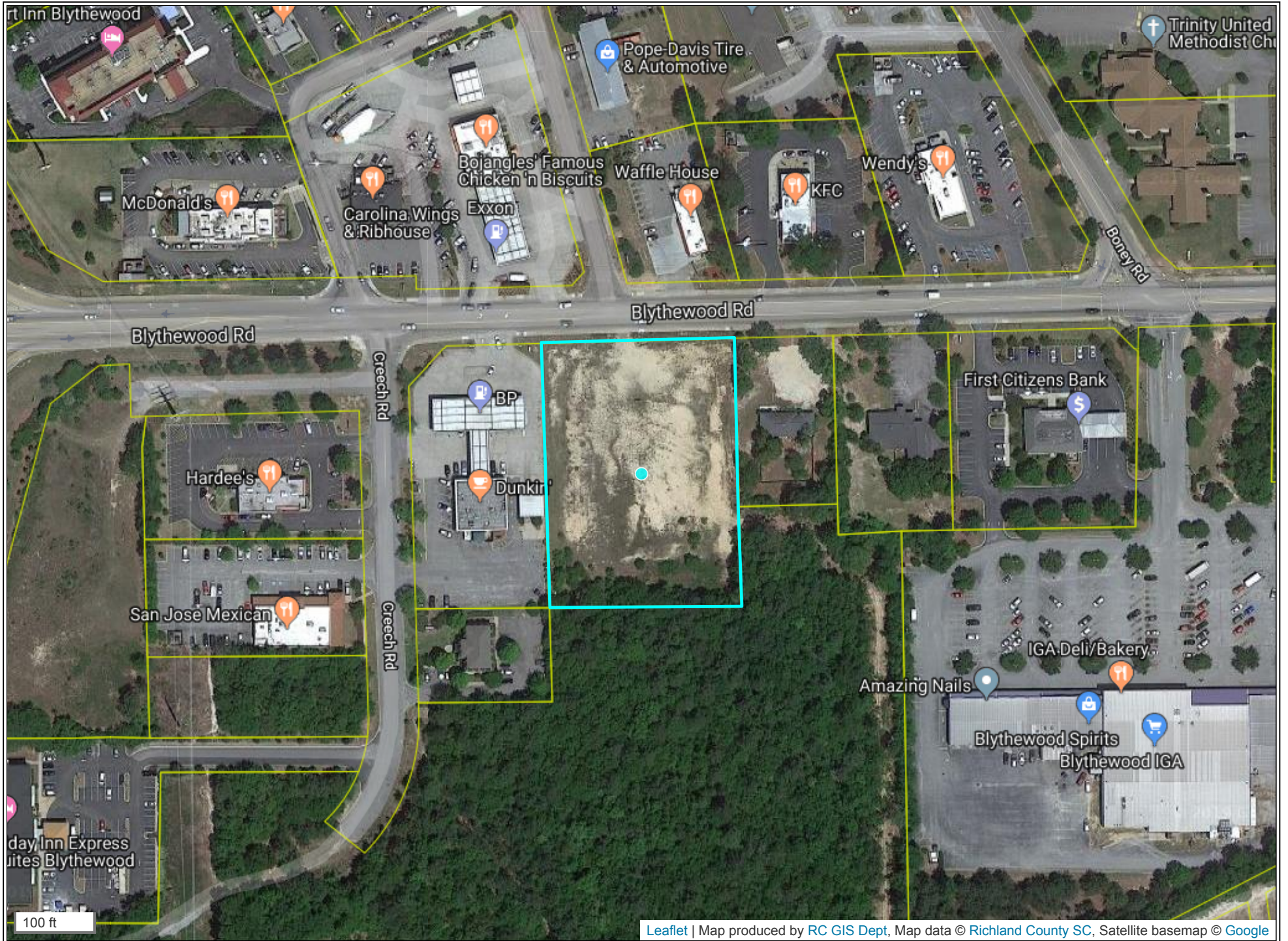
- The subject property is a 1.54 acre site
- The face brick will be a standard 3 5/8" x 2 1/4" x 7 5/8". The mortar joints will be 3/8" thick.
- The exterior finish of Zaxby's building walls shall be primarily comprised of brick, hardiplank siding, wood brackets, and metal awnings.
- The primary brick color will be "Commonwealth"
- The fascia and freize/trim color will consist of a "Balanced Beige"
- The structure will consist of 6" exposure hardiplank embossed grain lap siding in the color "Roycroft Copper Red"
- Gooseneck lighting will be attached to the structure and the fixtures will have a galvanized metal finish

- The roof will be a standing seam metal roof with a galvalume finish
- The window awnings will consist of a standing seam metal roofing material with a galvalume finish
- The building height is proposed at twenty (20) feet
- The front of the building façade will feature classic barn doors constructed out of hardiplank
- Building setbacks are: Front = 25 feet, Rear = 10 feet, Side = 10 feet (§155.182)
- The average street protective yard width shall be 15 feet and shall have a minimum width of 10 feet (§ 155.384.4). The site plan shows 15 feet.
- All mechanical equipment on the ground and roof shall be screened from all sides

The use of native species of trees, shrubs, vines, groundcovers and perennials is encouraged in order to make planted areas compatible with existing native habitats (§155.383 C). Proper irrigation and maintenance of landscaping shall be required. The applicant shall work with staff to meet all landscaping requirements.

A site development plan shall be considered to include all improvements, including but not limited to, plantings, buffer yards, landscaping, signs, lighting, parking lots, garbage enclosures, curb cuts, and pedestrian and vehicular circulation paths.

Curb cuts and associated stormwater will be reviewed by and designed to the satisfaction of Richland County, SCDHEC, and SCDOT as applicable. All other federal, state, and local design regulations will be applicable.



EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3 5/8" x 2 1/4" x 7 5/8" RUNNING BOND

- 1 COLOR: BRICK - COMMONWEALTH (GENERAL SHALE)
APPROVED ALTERNATE - M/S CHEROKEE NATCHEZ (CHEROKEE BRICK)
APPROVED ALTERNATE - OLDE COLUMBIA (BORAL BRICK)
MORTAR - "ANTIQUÉ BUFF" (COOSA)

3/8" THICK MORTAR JOINTS. ASTM C-270, TYPE N.

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.F. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS, THROUGH WALL FLASHING, EPDM (BY W.R. GRACE) OR EQUAL, AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

HOHMANN & BARNARD, INC. HORIZ REINF. ON CMU FENCE
HOHMANN & BARNARD, INC., DW-10 HS TRIANGULAR MTL. WALL TIES (OR EQUAL) @ 16" O.C. VERT. & AT HORIZ. STUD SPACINGS, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10 - 16 x 1-1/2" SCREWS.

- 2F = FIELD COLOR: PAINT SHERWIN WILLIAMS "ROYCROFT COPPER RED"/SW 2839 (SATIN FINISH)

HARDIE PLANK- EMBOSSED GRAIN FINISH LAP SIDING WITH 6" EXPOSURE, PAINT FIELD COLOR
HARDIE PANEL VERTICAL SIDING, BOARD & BATTEN @ 12" O.C., PAINT PANEL & BATTENS PAINT FIELD COLOR

- 2A = ACCENT COLOR: HARDIE CORNERS, FRIEZE & TRIM - SHERWIN WILLIAMS "BALANCED BEIGE" /SW 7037 (SATIN FINISH)

HARDIE TRIM BOARDS, CORNICE, FRIEZE & TRIM (SMOOTH FINISH)-PAINT SHERWIN WILLIAMS "BALANCED BEIGE" /SW 7037 (SATIN FINISH)

- 3 FASCIA, RAFTERS, PURLINS AND BRACKETS- PAINT SHERWIN WILLIAMS "BALANCED BEIGE" /SW 7037 (SATIN FINISH)

- 4 PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING
COLOR: COPINGS: FULL 24 GA GALVANIZED/GALVALUME METAL COPING ONLY
DOWNSPOUTS SHOULD BE GALVANIZED/GALVALUME
ROOFING @ REAR AWNING: GALVANIZED / GALVALUME
MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING.
ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

- A. BERRIDGE MANUF. CO., HOUSTON, TX.
- B. PAC-CLAD
- C. MBCI
- D. MCELROY METAL CO., PEACHTREE CITY, GA.
- E. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

- 5 STOREFRONT: WINDOWS & ENTRANCE DOORS (BRITE WHITE - ORSF81275)

ACCEPTABLE MANUFACTURER: KAWNEER. REFER TO SPECIFICATIONS
ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

GLAZING - 1" INSULATED LOW-E COATED ON #2 AND #4 SURFACES						
TYPE	LOCATION	TYPE & THICKNESS	U FACTOR	SHGC	VLT	VLR
LOW-E COATING	EXTERIOR SIDE	1/4" TEMPERED	.24	.49	63	16
LOW-E COATING	INTERIOR SIDE	1/4" TEMPERED				

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

- 6 SELF-CLOSING & TEMPERED GLASS DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 5'-8" HIGH
QUICKSERV MODEL SC-4040 SELF CLOSING HORIZ. SLIDER WINDOW
FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

QUICKSERV-DIVISION OF MCE SYSTEMS CORP.
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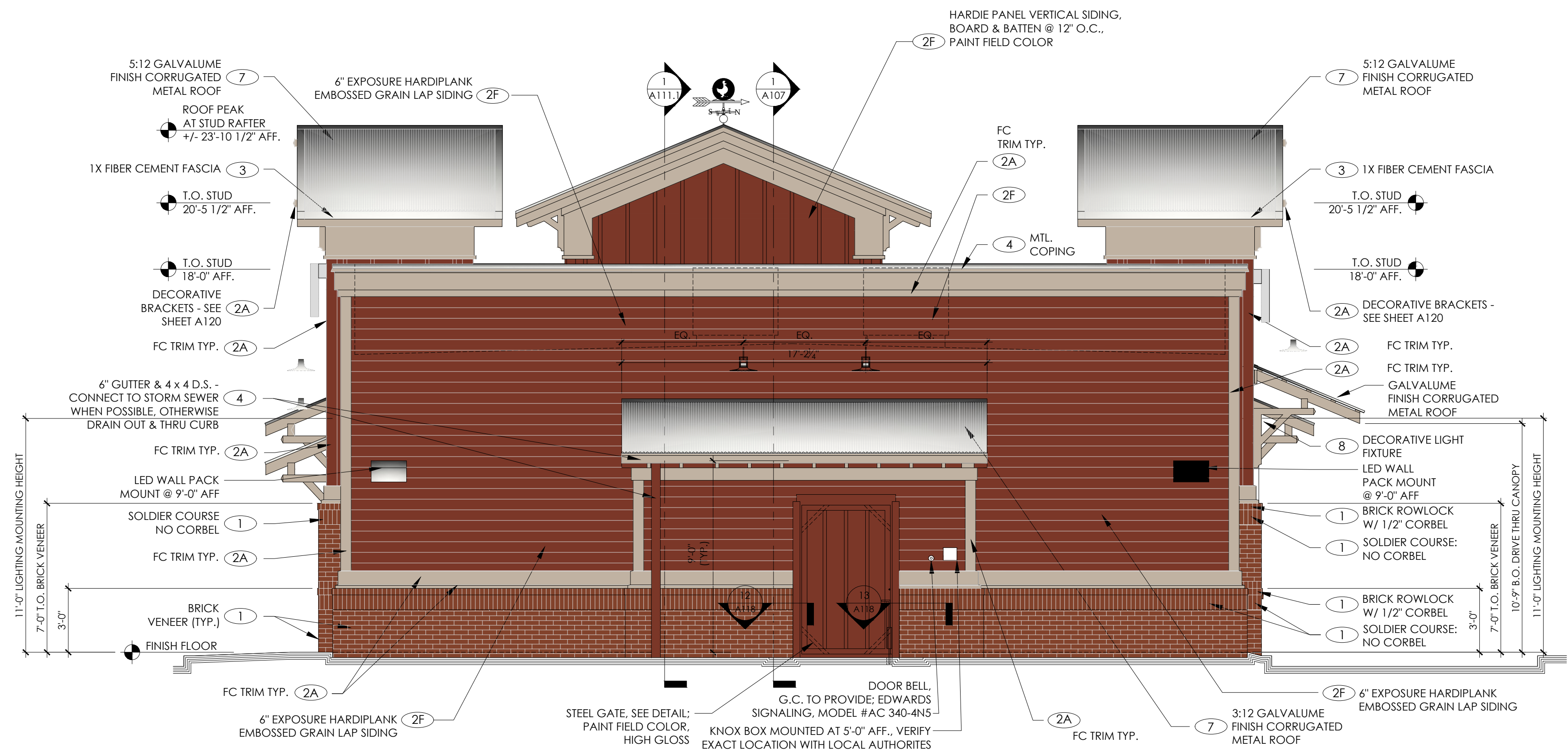
G.C. AND STOREFRONT PROVIDER SHALL BE RESPONSIBLE FOR COORDINATION WITH THE OWNER REGARDING THE DIRECTION OF THE SLIDING WINDOW PRIOR TO ORDERING OR INSTALLING ANY MATERIALS.

- 7 GALVALUME 22 GA. CORRUGATED FINISH METAL ROOF (MBCI PBC OR EQUIV.)
- 8 GALVANIZED METAL FINISH GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

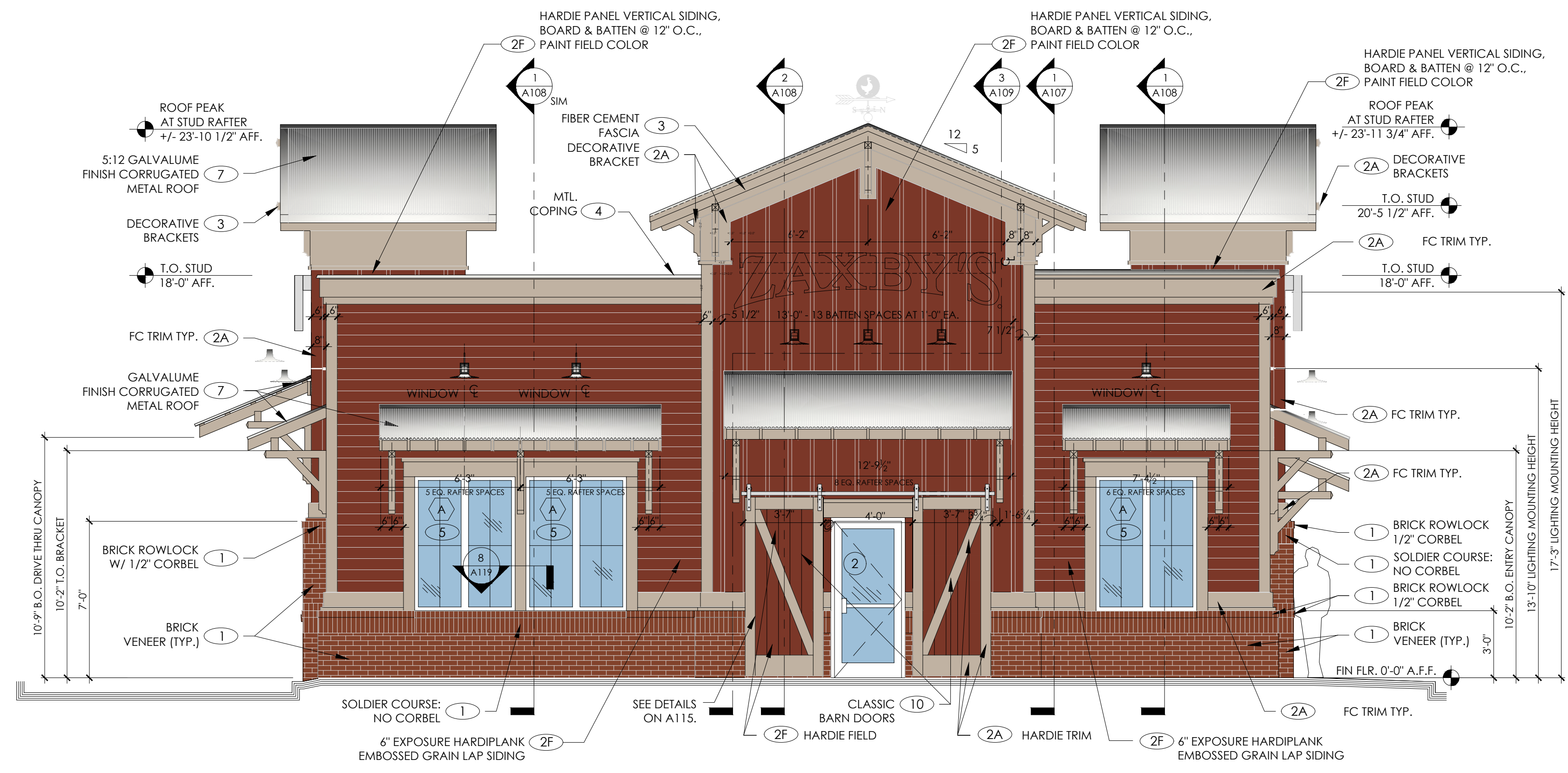
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- 9 INTERIOR LADDER, PAINT BLACK
- 10 CUSTOM FIXED CLASSIC BARN DOORS CONSTRUCTED OUT OF HARDIPLANK TO MIMIC SIMPSON DOOR, MODEL #49812, 3'-6" WIDE BY 8'-0" TALL. TRIM TO BE (2A) FIELD TO BE (2F); TRACK TO BE POWDER COATED BLACK. COORDINATE WITH ZFL FOR HARDWARE SPECIFICATIONS.

- GLAZING, REFER TO SHEET A117
- DOORS, REFER TO SHEET A115



2 REAR ELEVATION
A105 1/4" = 1'-0"



1 FRONT ELEVATION
A105 1/4" = 1'-0"

ARCHITECT OF RECORD:

THOMAS E. MORGAN, JR.
ARCHITECT

423 FISCHER TRAIL
ELLIJAY, GEORGIA 30540



3450 Acworth Due West Road
Building 100, Suite 120
Kennesaw, Georgia 30144
P. 770-917-9172
F. 770-917-9470
www.mrpdesign.com

NOT RELEASED FOR
CONSTRUCTION

DATE	DESCRIPTION
09.13.19	FOR TOWN REVIEW

DRAWN BY:
CHKD BY:
PROJECT NAME AND ADDRESS



SHEET TITLE

FRONT & REAR
EXTERIOR ELEVATIONS

PROJECT NO: 19050

A105

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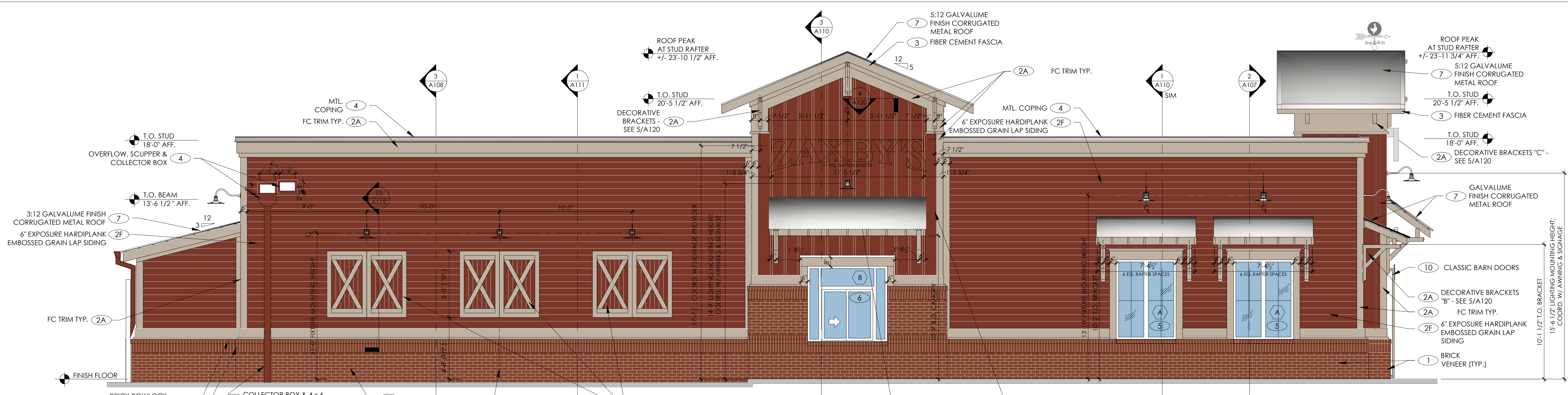


SHEET TITLE

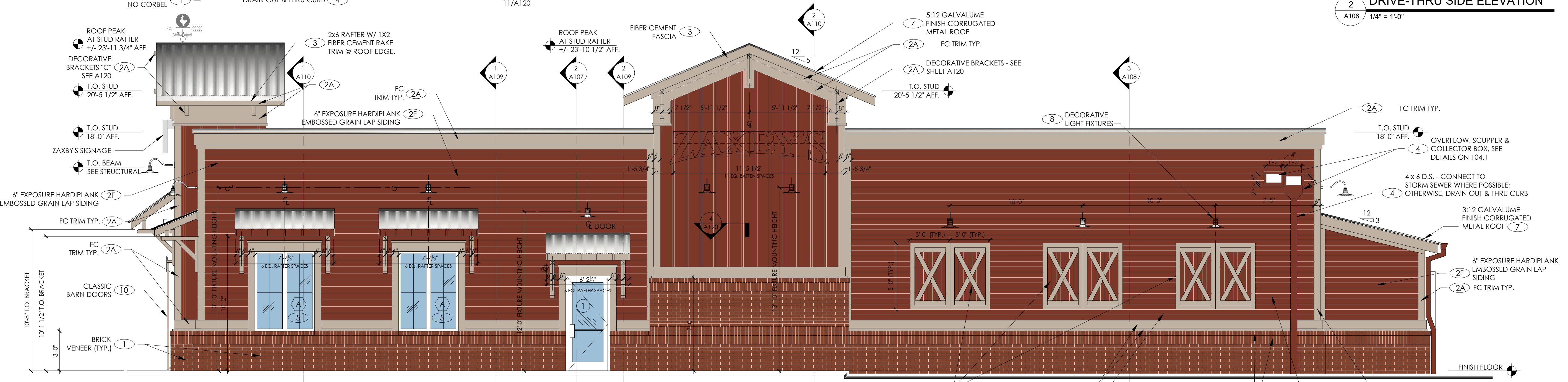
DRIVE THRU & RIGHT
EXTERIOR ELEVATIONS

PROJECT NO: 19050

A106



2 DRIVE-THRU SIDE ELEVATION
A106 1/4" = 1'-0"



1 RIGHT SIDE ELEVATION
A106 1/4" = 1'-0"

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GLAZING, REFER TO SHEET A117

DOORS, REFER TO SHEET A115

ZAXBY'S

6920

6920





ZAXBY'S

ZAXBY'S

1920

COMPACT

COMPACT

Application for Certificate of Appropriateness
TOWN OF BLYTHEWOOD

Date Filed: 9-13-19

Fee Paid 100.00 (\$100.00)

Instructions

If the application is on behalf of the property owner(s), all owners must sign.
If the applicant is not an owner, the owner(s) must sign the Designation of Agent section.

The applicant hereby requests a certificate of appropriateness pursuant to Section 155.180, 155.315, 155.380 of the Zoning Ordinance to use the property described below in the following manner:

Located within Commercial Zoning District, Proposed Zaxby's Fast Casual Restaurant is planned at Blythewood Road just east of I-77. Zaxby's visual aspects of the building design includes use of a Farmhouse look with various durable materials, change of wall plane and projections, canopies and use of tall windows, pitched roofs, painted cedar brackets. Site Design has included a well-planned landscaping, parking and traffic flow layout to comply with sections 155.383, 155.403, 155.411. Proposed Wall Signs, directional signs and monument sign to be submitted separately for Zoning review and approval.

APPLICANT(S): MRP DESIGN GROUP, INC

Robert Nutt, Project Coordinator

ADDRESS: 3450 Acworth Due West Road, Kennesaw, GA 30144

TELEPHONE: (DAY) 770-917-9172 (EVENING) 770-917-9172 x 108

OWNER(S): Performance Management Group

Jim Poston

ADDRESS:

TELEPHONE: (DAY) 843-662-0728 (EVENING) _____

(Use reverse side of this form if additional space is needed).

LEGAL DESCRIPTION: LOT _____ BLOCK _____ SUBDIVISION: _____

TAX MAP NO. PARCEL# 15100-05-33 DEED BOOK 790 PAGE 1502

Property is Zoned TC Use of Property Restaurant

Physical Address or Location: 221 Blythewood Rd. East of I-77

DESIGNATION OF AGENT [complete only if owner is not applicant]: I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.

Date: 9/13/19

(sign) 
Owner

(sign) _____
Owner

MRP DESIGN GROUP, INC. ROBERT NUTT

I (We) certify that the information in this request is correct.

Date: 9-13-19

(sign) 
Applicant

(sign) _____
Applicant



Memo

To: Board of Architectural Review
From: Staff
Date: October 21, 2019
Applicant: Sandy Khan (State Farm Insurance)
Subject: Certificate of Appropriateness
TC (Town Center District) AO (Architectural Overlay District)
Location: 152 Blythewood Road
TMS# 15112-03-03

The applicant, Sandy Khan, requests Certificate of Appropriateness approval for the development of a one-story, +/- 3,951 square foot insurance office building at the above referenced location. Insurance office buildings are an approved use in TC (Town Center) zoned properties. Under Section 155.316 of the zoning ordinance, the BAR has Certificate of Appropriateness authority over structures located in the Town Center portion of the Architectural Overlay District.

The site plan shows the removal of four existing oak trees on the subject property. Per the zoning ordinance, trees to be removed shall be only those trees necessary to permit the construction of buildings or building additions, structures, driveways, and other authorized improvements (§155.394 D). During the development of the property, the owner shall be responsible for the placement of fencing for any tree and root protection necessary to protect existing vegetation from damage during construction (§155.391).

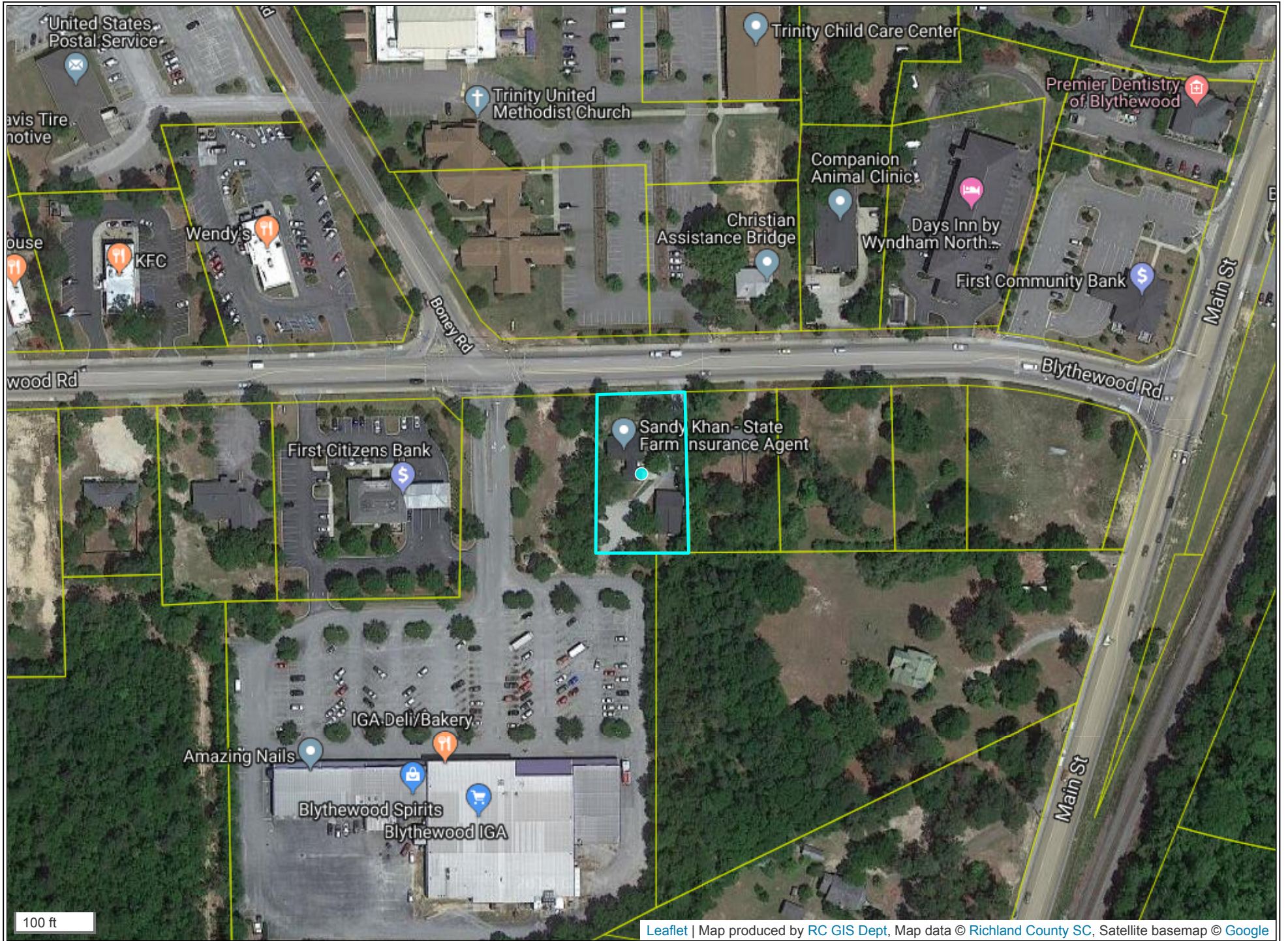
Side and rear setbacks shall be 10 feet. The structure shall have a minimum front setback of 25 feet to establish landscape, curb and sidewalk façade zones (§155.182 G).

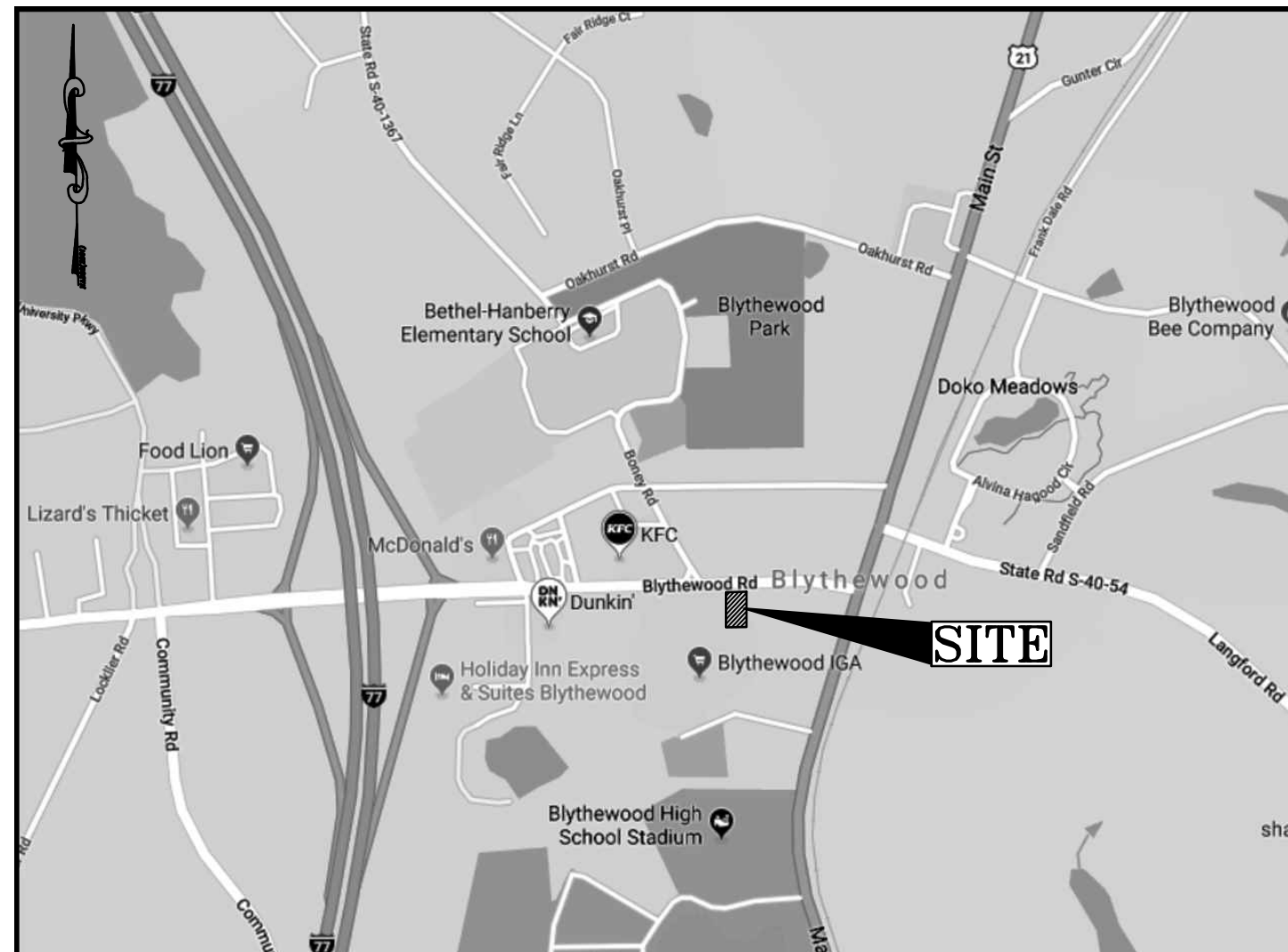
Specific shrub/tree plantings/species quantity/location will be required and may be delegated to staff. Proper irrigation and maintenance of landscaping shall be required. The preserved plus planted tree density shall meet the minimum of 30 units per acre. To determine compliance, a tree inventory will have to be established.

Construction and operation shall be in substantial compliance with all documents and supporting materials placed on file in conjunction with this case and shall conform to all relevant development regulations.

Curb cuts and associated stormwater will be reviewed by and designed to the satisfaction of Richland County, SCDHEC, and SCDOT as applicable. All other federal, state, and local design regulations will be applicable.

Any signage shall be reviewed by the Board of Architectural Review or in consultation with staff.

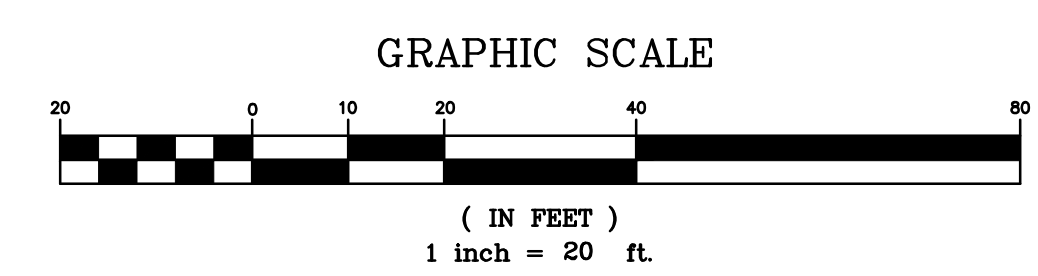
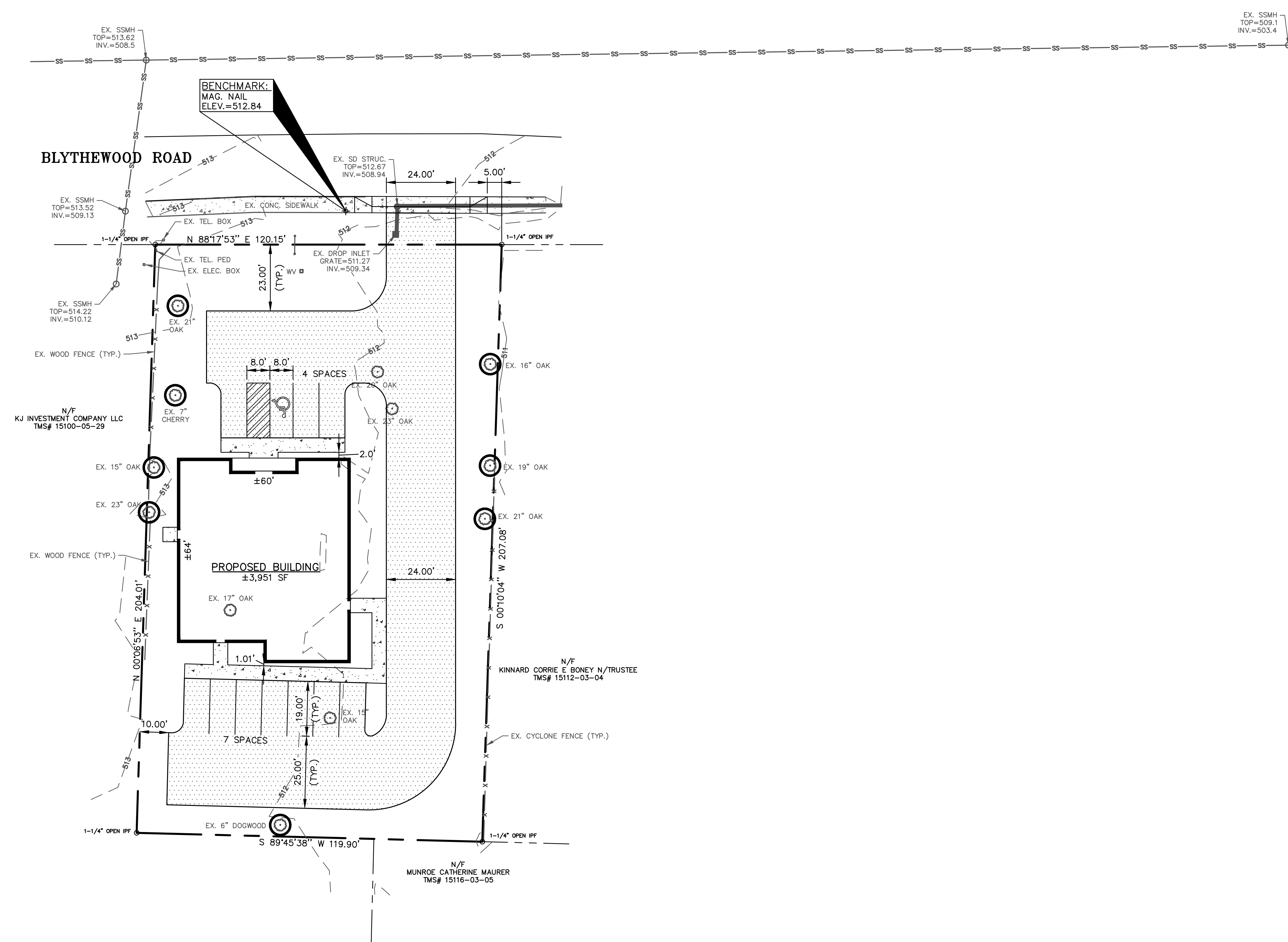




VICINITY MAP SCALE: 1" = 1000'



NOTES:
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY DENNIS BRANHAM, IN DIGITAL FORMAT.
 2. ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL MSL DATUM.

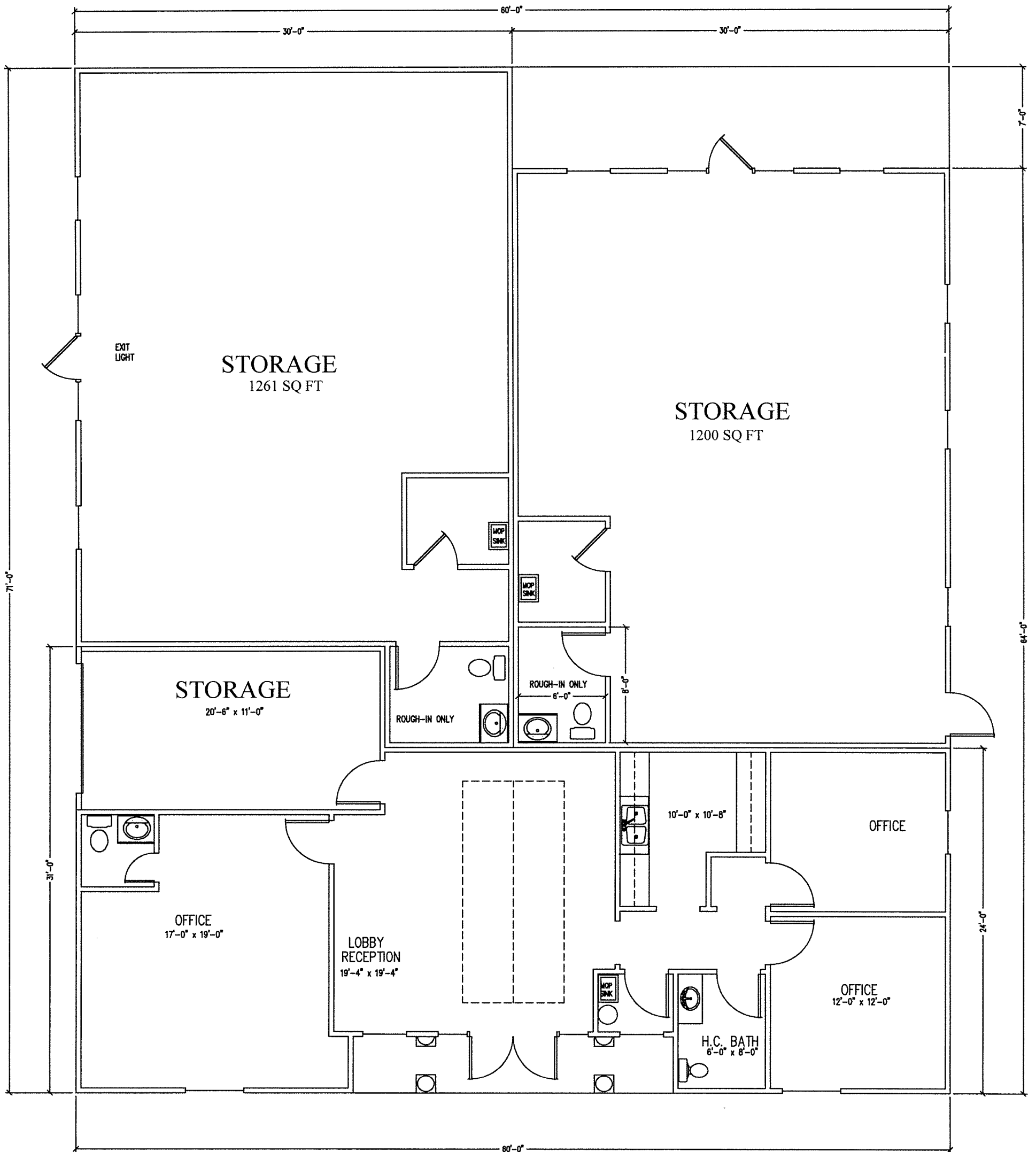


PARCEL SUMMARY
 152 BLYTHEWOOD ROAD
 TMS# 15112-03-03
 AREA = ±0.57 AC.
 ZONING = TC

OWNER
 SANDY I. KHAN
 152 BLYTHEWOOD ROAD
 BLYTHEWOOD, SC 29016
 803-735-7979

PROJECT No. 19046

 10719 WILSON BLVD. • P.O. BOX 923 • BLYTHEWOOD, S.C. 29016 (803) 714-9632 OFFICE • (855) 787-9289 FAX		REVISIONS	SITE PLAN PROPOSED OFFICE BUILDING		
			PREPARED FOR SANDY I. KHAN IN THE TOWN OF BLYTHEWOOD, RICHLAND COUNTY, SOUTH CAROLINA		
NO.	DATE	DESCRIPTION	DATE: SEPT. 23, 2019	SCALE: 1" = 20'	SHEET C1 OF 1



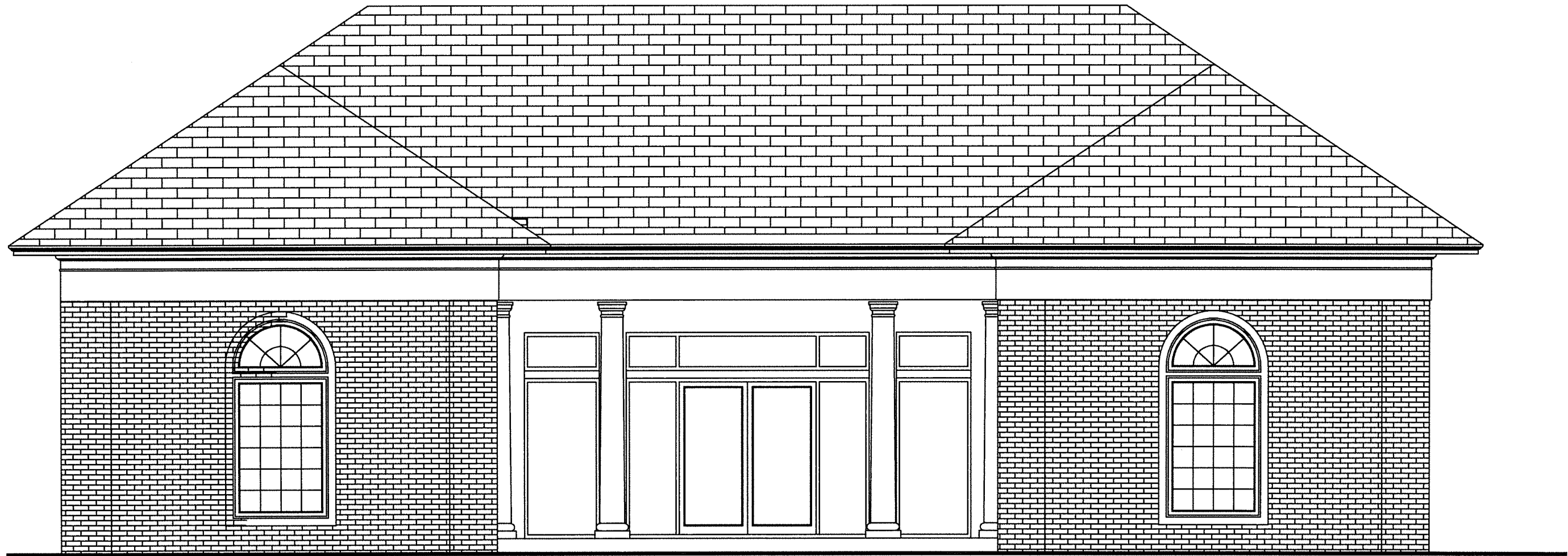
MAIN FLOOR PLAN

SCALE : 1/4" = 1'-0"

OFFICE 1
1260 SQ FT

OFFICE 1 STORAGE
240 SQ FT

OFFICE 1 PORCH
88 SQ FT



Application for Certificate of Appropriateness
TOWN OF BLYTHEWOOD

Date Filed: _____ Fee Paid _____ (\$100.00)

Instructions

If the application is on behalf of the property owner(s), all owners must sign.
If the applicant is not an owner, the owner(s) must sign the Designation of Agent section.

The applicant hereby requests a certificate of appropriateness pursuant to Section 155.315 of the
Zoning Ordinance to use the property described below in the following manner:

Demolition / removal of two buildings totaling +/- 3400 sf, construction of +/- 4000 sf office / commercial building

APPLICANT(S): Sandy I. Khan

152 Blythewood Road

ADDRESS: Blythewood, SC 29016

TELEPHONE: (DAY) 803-735-7979 (EVENING) _____

OWNER(S): same

ADDRESS: _____

TELEPHONE: (DAY) _____ (EVENING) _____

(Use reverse side of this form if additional space is needed).

LEGAL DESCRIPTION: LOT _____ BLOCK _____ SUBDIVISION: _____

TAX MAP NO. 15112-03-03 DEED BOOK 1737 PAGE 1206

Property is Zoned TC Use of Property Office / Commercial

Physical Address or Location: 152 Blythewood Road

DESIGNATION OF AGENT [complete only if owner is not applicant]: I (we) hereby appoint the person
named as Applicant as my (our) agent to represent me (us) in this application.

Date: Sept 26, 2019 (sign) Sandy K
Owner
(sign) _____
Owner

I (We) certify that the information in this request is correct.
Date: Sept 26, 2019 (sign) Sandy K
Applicant
(sign) _____
Applicant



Memo

To: Board of Architectural Review
From: Staff
Date: October 21, 2019
Applicant: Ray Hill (Hill Construction Co.)
Subject: Certificate of Appropriateness
TC (Town Center District) AO (Architectural Overlay District)
Location: 11 Samuel Bookhart Lane
TMS# 15213-02-26

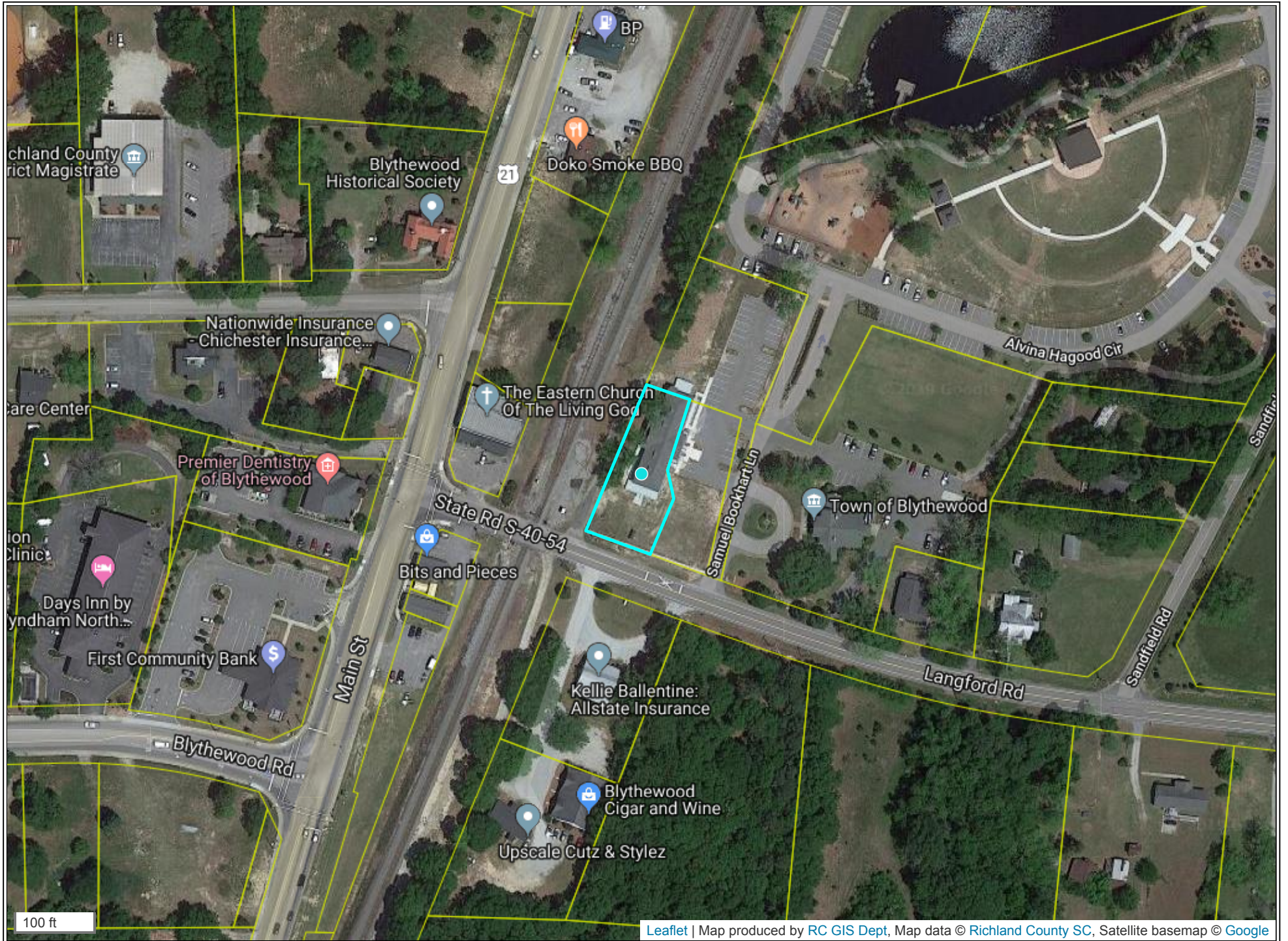
The applicant, Blythewood Depot Property, LLC is requesting approval of a Certificate of Appropriateness to permit the alteration of the Blythewood Depot Building (+/- 3,800 sq. ft.). The building will be the potential location of a music store and restaurant. Proposed is the installation of two new windows to the existing structure at the above referenced location. The building is a contributing property within the Town Center (TC) District.

On 7-15-2019 the Board of Architectural Review granted COA approval for several alterations to the Blythewood Depot Building. The alterations previously approved by the BAR were the installation of two new windows on the rear of the building (side facing Main Street) and the addition/relocation of three doors to accommodate food deliveries and to direct means of access and egress for citizens. The doors/windows shall be identical to the existing doors/windows and the character of the property shall be maintained. The two new windows will be visible from Main Street.

Incorporation of traditional architectural elements is encouraged while recognizing that a multiplicity of architectural styles may be considered with regards to adjacent structures and proposed usage. The two new windows being proposed shall be identical to the existing windows in color, size, and materials. The proposed work will allow for additional natural light into classrooms.

The exterior modifications shall conform to the design and materials of the existing structure. All associated work will be completed and finished in a manner that is consistent with the Town Center District Zoning Design Guidelines (§155.182).

Any signage shall be reviewed by the BAR or in consultation with staff. Consideration shall be given to compatibility between signage and site architectural building materials, colors, graphics, and other architectural features.



Depot

Right Rear
of Building

New
Windows



50 KVA
.2 KV
38Y/120

Application for Certificate of Appropriateness
TOWN OF BLYTHEWOOD

Date Filed: 10/14/19

Fee Paid (\$100.00)

Instructions

If the application is on behalf of the property owner(s), all owners must sign.
If the applicant is not an owner, the owner(s) must sign the Designation of Agent section.

The applicant hereby requests a certificate of appropriateness pursuant to Section _____ of the Zoning Ordinance to use the property described below in the following manner:

Install (2) new windows on rear of building (see photos and floor plan) using same size and style as existing windows to allow light into classrooms

APPLICANT(S): Hill Construction Co.

ADDRESS: PO Box 894 Lexington, SC 29071

TELEPHONE: (DAY) 803-720-9225 (EVENING) _____

OWNER(S): Blythewood Depot Property, LLC

ADDRESS: 11 Samuel Bookhart Ln. Blythewood, SC 29016

TELEPHONE: (DAY) 803-237-4620 (EVENING) _____

(Use reverse side of this form if additional space is needed).

LEGAL DESCRIPTION: LOT _____ BLOCK _____ SUBDIVISION: _____

TAX MAP NO. _____ DEED BOOK _____ PAGE _____

Property is Zoned _____ Use of Property _____

Physical Address or Location: 11 Samuel Bookhart Ln. Blythewood, SC 29016

DESIGNATION OF AGENT [complete only if owner is not applicant]: I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.

Date: 10/11/19

(sign) _____
Owner [Signature]
(sign) _____
Owner

I (We) certify that the information in this request is correct.

Date: 10/14/19

(sign) [Signature]
Applicant

(sign) _____
Applicant