



**TOWN OF BLYTHEWOOD  
BOARD OF ARCHITECTURAL REVIEW AGENDA  
JUNE 15, 2020 – 5:30 PM  
DOKO MANOR  
100 ALVINA HAGOOD CIRCLE  
BLYTHEWOOD, SOUTH CAROLINA**

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**JIM MCLEAN • ALISHA COLEMAN • ALAN GEORGE • JOHN MILES •  
DR. GALE COSTON • SANDRA YORK**

- I. CALL TO ORDER AND DECLARATION OF A QUORUM**
    - A. NOTIFICATION AND POSTING OF THE AGENDA**
    - B. ADOPTION OF THE AGENDA**
    - C. PLEDGE OF ALLEGIANCE**
  - II. REGULAR AGENDA**
    - A. APPROVAL OF MINUTES - (December 16, 2019)**
    - B. 2020-01-COA – Creech Road, TMS# 15100-05-06, Request for Certificate of Appropriateness approval for new construction of a senior living apartment complex (Devin Blankenship) (TC) (AO)**
    - C. Bethel Hanberry Gymnasium (Designation of Historic Property)**
    - D. CITIZEN COMMENTS**
  - III. ADJOURNMENT**
-

# BOARD OF ARCHITECTURAL REVIEW

THE MANOR  
100 ALVINA HAGOOD CIRCLE  
BLYTHEWOOD, SC 29016  
MONDAY, DECEMBER 16, 2019  
6:00PM

## MINUTES

### Members Present

Pam Dukes, Chair  
Jim McLean, Co Chair  
John Miles  
Alan George

### Staff Present

Brian Cook, Town Administrator  
Kirk Wilson, Building & Zoning Analyst  
Melissa Cowan, Town Clerk

### Members Absent

Alisha Coleman

### Staff Absent

Saralyn Yarborough, Asst. Admin

## I. CALL TO ORDER & DECLARATION OF A QUORUM

Chairperson Dukes called the meeting to order at 6:23 PM and declared a quorum was present.

### A. NOTICE AND POSTING OF AGENDA

Administrator Cook confirmed the agenda was properly posted and the media notified.

### B. APPROVAL OF AGENDA

Jim McLean made a Motion to approve the agenda. The Motion was seconded by Alan George. **All in favor; 4-0**

### C. PLEDGE OF ALLEGIANCE

## II. REGULAR AGENDA

### A. APPROVAL OF MINUTES – (October 21, 2019)

Alan George made a Motion to approve the minutes of August 19, 2019. The Motion was seconded by Jim McLean. **All in favor; 4-0**

### B. 2019-09-COA – 100 Creech Road (TMS# 15100-05-35) Certificate of Appropriateness to permit exterior alterations to Hardee's restaurant (David Glover) (TC) (AO)

Jim McLean made a Motion to approve the Certificate of Appropriateness as presented (Only approving the dark grey addition to the building). The Motion was seconded by Alan George. **All in favor; 4-0**

- C. **2019-10-COA – 209 Blythewood Road (TMS# 15112-03-01)** Certificate of Appropriateness to permit the construction of a car wash (Patrick Noh) (TC) (AO) **\*Deferred by applicant until 1/21/2020 meeting**

D. **CITIZENS COMMENTS**

No Citizens signed in to speak.

III. **ADJOURNMENT**

John Miles made a Motion to adjourn the meeting at 6:35 PM. The Motion was seconded by Jim McLean. **All in favor; 4-0**

Respectfully submitted,

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Melissa Cowan, Town Clerk



To: Board of Architectural Review  
From: Staff  
Date: June 15, 2020  
Applicant: Devin Blankenship (The Park at Blythewood)  
Subject: Certificate of Appropriateness  
Location: Creech Road (TMS# 15100-05-06)  
Proposed Use: Multi-family Residential  
Zoning: Town Center (TC) Architectural Overlay District (AO)  
Total Area: +/- 2.86 acres

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The applicant, Prestwick Companies, has submitted an application requesting Certificate of Appropriateness (COA) approval for a new multi-family residential development located along Creech Road. The proposed project includes a three-story senior living complex (+/- 54,651 square feet). The development will consist of 48 units, with 24 one-bedroom apartments and 24 two-bedroom apartments.

A site development plan shall be considered to include all improvements, including but not limited to, plantings, buffer yards, landscaping, signs, lighting, parking lots, garbage enclosures, curb cuts, and pedestrian and vehicular circulation paths. Construction shall be in substantial compliance with approved plan.

The design and configuration of the structure and its materials and colors shall be visually harmonious with the overall appearance of the Town Center Zoning District. The proposed primary building colors include a variation of light and dark beige and will consist of a combination of brick and stone. The remaining colors consist of light grey, dark grey, and cream and will be used for the siding of the complex.

As depicted on the site plan, the building façade exceeds the maximum length requirement of 200 feet (§ 155.182). Therefore, the applicant has provided the BAR with an alternative site plan that satisfies this requirement (see slide 13).

The total number of parking spaces to be provided for the new development is 71 based on the provided site plan. Internal planting areas will be designed to feature 1 canopy tree and 5



shrubs in order to visually break up the appearance of an excessive number of parking spaces in one row (§ 155.384.3). Type C buffer yards function to create visually aesthetic transitions between parking areas.

A buffer 10 feet in width shall serve as a continuous perimeter around the entirety of the lot, creating a transition between adjoining commercially zoned lots. The landscape plan indicates a Type B buffer yard 10 feet in width and will create a semi-opaque screen around the perimeter of the complex. The buffer will consist of a combination of canopy trees, evergreen trees, and shrubs, and will reduce the effects of car lights and glare (§ 155.384 B).

The site plan indicates a continuous plant bed will be installed along the perimeter of the complex. The plant bed will consist of shrubs and will have an average width of 4 feet and a minimum width of 2 feet.

The trash enclosure will be gated and screened from pedestrian view with appropriate landscaping. The site plan shows 1 canopy tree and 5 shrubs on either side of the trash enclosure.

The preserved plus planted tree density shall meet the minimum of 30 units per acre. To determine compliance, a tree inventory was established and can be found in the tree protection plan. The Blythewood Tree Protection Ordinance (§ 155.394) requires protection of trees with a diameter at breast height (DBH) of 8 inches or greater. Refer to the existing tree protection plan which identifies all existing trees that shall be saved or removed based upon their trunk diameter at breast height.

Refer to slide 16 for a visual representation of the proposed entrance signage. Sign design shall be compatible with and make use of the overall site design. The proposed sign will be composed of “Meridian Mosswood” brick. The entrance sign shall be situated in an appropriate location after all utilities have been located and marked. Signage shall be designed in compliance with landscape plans as well as planting materials and storm water retention requirements so as not to violate sign visibility specifications.

Curb cuts and associated stormwater specifications will be reviewed by and designed to the satisfaction of Richland County, SCDHEC, and SCDOT requirements as applicable. All other federal, state, and local design regulations will be applicable.

## **§ 155.182 TOWN CENTER ZONING DISTRICT DESIGN STANDARDS**

(E) *Multi-family residential building type.* The multi-family residential building type reflects the traditional apartment houses or loft buildings found throughout the region. It applies to multi-family residential, retirement housing services, and rooming house land uses.

(1) *Principal building facades.* No principal building facade shall exceed 200 feet in length.

(2) *Multi-story building facades.*

(a) *Visual divisions.* Multi-story principal building facades shall provide visual divisions between the first and second floors. The facades shall have architectural courses, awnings, or a change in primary facade materials;

(b) *Two-part or 3-part facades.* Buildings taller than 2 floors shall have 2-part or 3-part facades. Horizontal zones in the facade may be differentiated by a change in materials, window pattern, or window material, or by a cornice or course.

## **§ 155.496 POWERS AND DUTIES OF THE BOARD OF ARCHITECTURAL REVIEW**

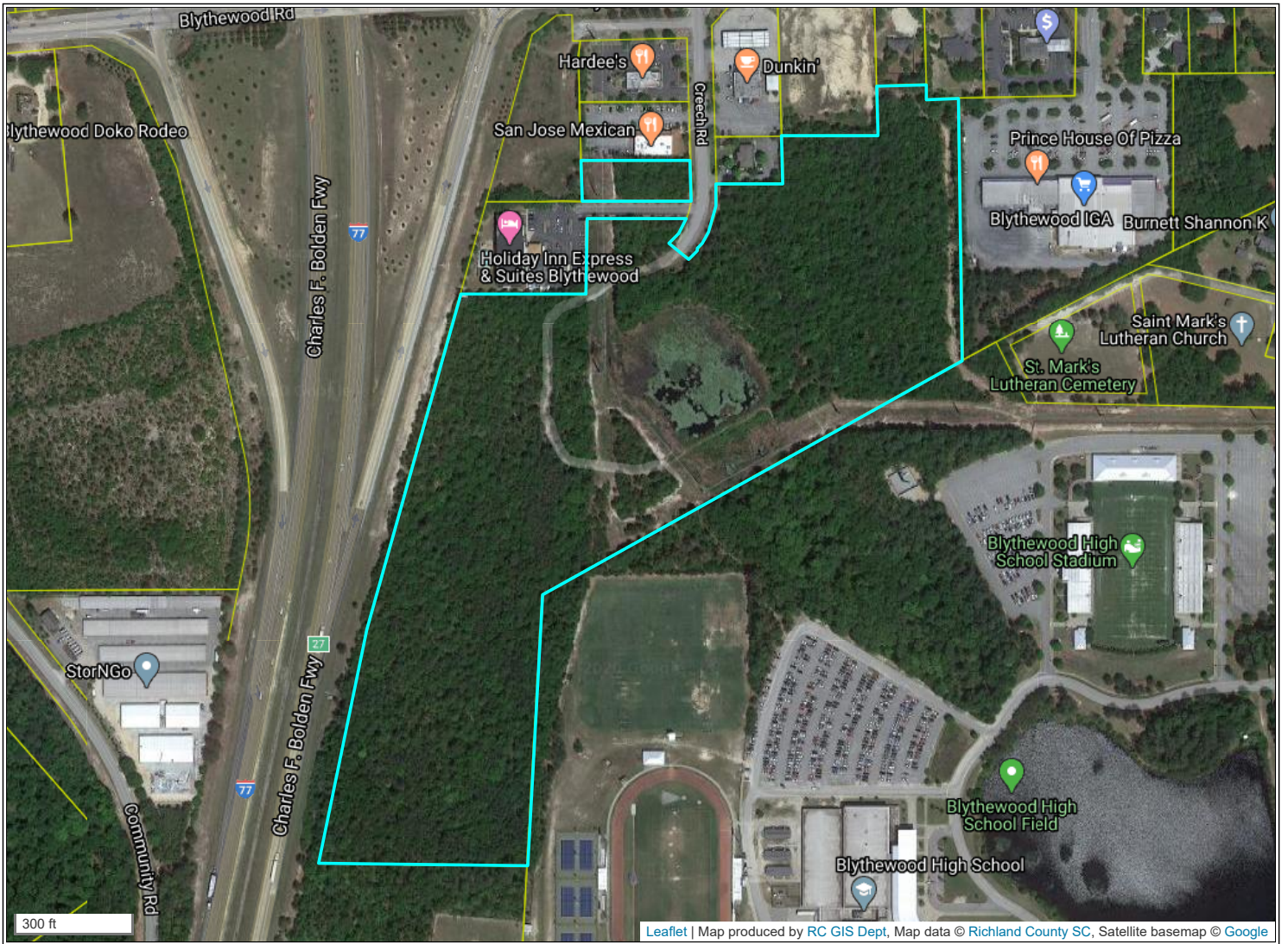
(E) *Variances.* Grant variances from the architectural review parameters if the Board makes the following findings:

(1) There are extraordinary and exceptional conditions pertaining to a particular project subject to review;

(2) These conditions do not generally apply to other property in the vicinity;

(3) Because of these conditions, the application of the architectural review parameters to the project would effectively prohibit or unreasonably restrict development of the project; and

(4) The variance will not be a substantial deterrent to adjacent property or to the public good.



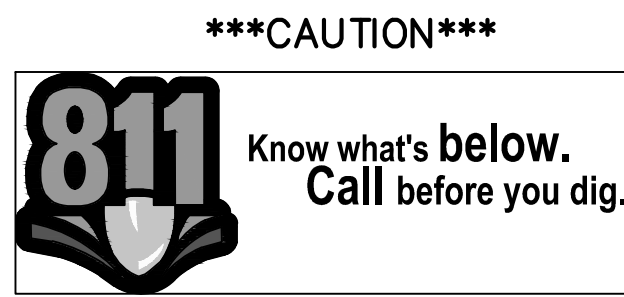


**SITE NOTES:**

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
- DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF PARKING STALL OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES.
- ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS.
- CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE 4" THICK WITH EXPANSION JOINTS AND SCORING PER DETAIL.
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
- ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
- ALL CURBING TO BE 18" FORMED CONCRETE CURBING PER DETAIL, WITH 3000 PSI CONCRETE.
- ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL.
- TRUNCATED DOMES ARE TYPICAL AT ALL HANDICAP RAMPS. HANDICAP SPACES WILL BE MARKED WITH A FREESTANDING OR WALL MOUNTED SIGN. SEE DETAIL SHEETS FOR PROPER STRIPING.

SITE PLAN KEYED NOTES	
1	18" CONCRETE CURB AND GUTTER
2	ASPHALT PAVING (SEE LEGEND FOR TYPE)
3	CONCRETE PAVING
4	DUMPSTER ENCLOSURE
5	STOP SIGN & 24" STOP BAR
6	PAVEMENT FLUSH WITH SIDEWALK
7	WHEEL STOP
8	ADA PARKING SPACE & ACCESS AISLES 1-1/2% (2% MAX) SLOPE IN ALL DIRECTIONS
9	HANDICAP SIGN
10	DETECTABLE WARNING SURFACE
11	4" PAINTED STRIPE
12	CONCRETE SIDEWALK
13	ADA RAMP
14	CURB TRANSITION
15	STRIPED PATH (4" PAINTED STRIPE)
16	GAZEBO (SEE ARCH PLANS)
17	TRAFFIC DIRECTIONAL ARROWS
18	1' WIDE CURB OPENING
19	CURB FLUME WITH SIDEWALK CROSS DRAIN
20	4' HIGH BLACK VINYL COATED CHAIN LINK FENCE WITH 4' WIDE DOUBLE SWING GATE

PARKING CALCULATIONS					
USE TYPE	USE CALCULATIONS	MINIMUM SPACES REQUIRED	MINIMUM CALCULATED SPACES	MAXIMUM SPACES ALLOWED	MINIMUM CALCULATED SPACES
PROPOSED BUILDING					
Retirement Housing Services	48 units	1.0 spaces per 3 unit	16	1.5 spaces per unit	72
		<b>TOTAL SPACES REQUIRED</b>	<b>16</b>		
		<b>TOTAL REGULAR SPACES PROVIDED</b>	<b>67</b>		
		<b>TOTAL ADA SPACES PROVIDED</b>	<b>4</b>		
		<b>TOTAL PARKING SPACES PROVIDED</b>	<b>71</b>		
Minimum Bicycle Spaces		n/a			



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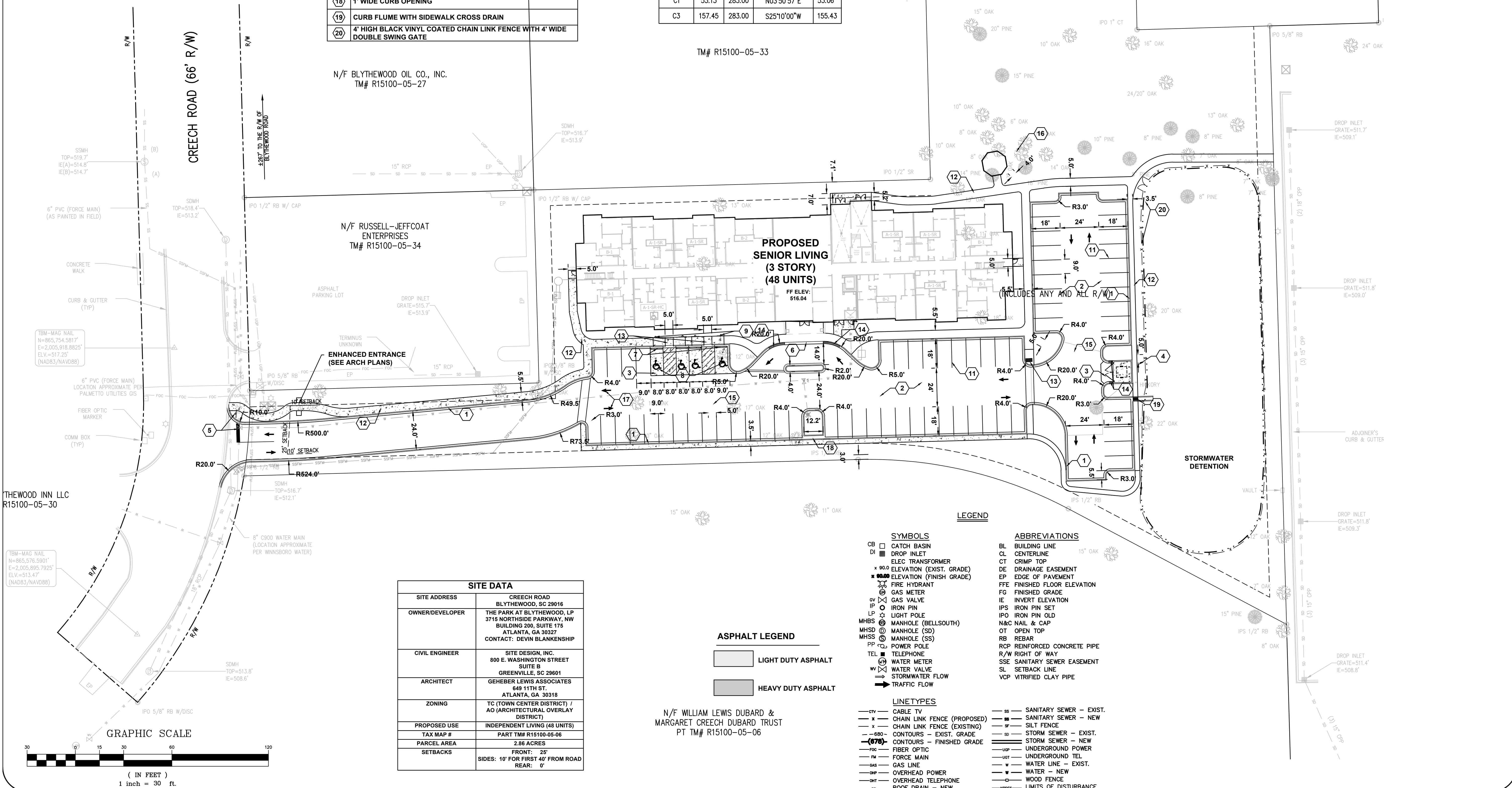
CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	53.13	283.00	N03°50'57"E	53.06
C3	157.45	283.00	S25°10'00"W	155.43

TM# R15100-05-33

N/F BLYTHEWOOD OIL CO., INC.  
TM# R15100-05-27

N/F RUSSELL-JEFFCOAT ENTERPRISES  
TM# R15100-05-34

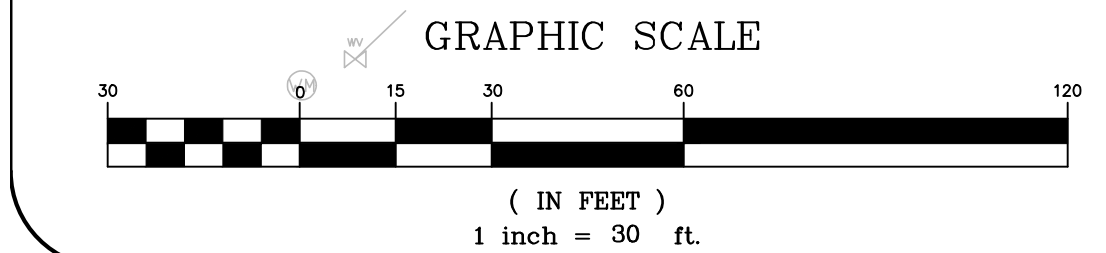
N/F WILLIAM LEWIS DUBARD & MARGARET CREECH DUBARD TRUST  
PT TM# R15100-05-06



THEWOOD INN LLC  
R15100-05-30

TBM-MAG NAIL  
N=865,754.5817  
E=2,005,918.8825  
ELEV.=517.25'  
(NAD83/NAVDS88)

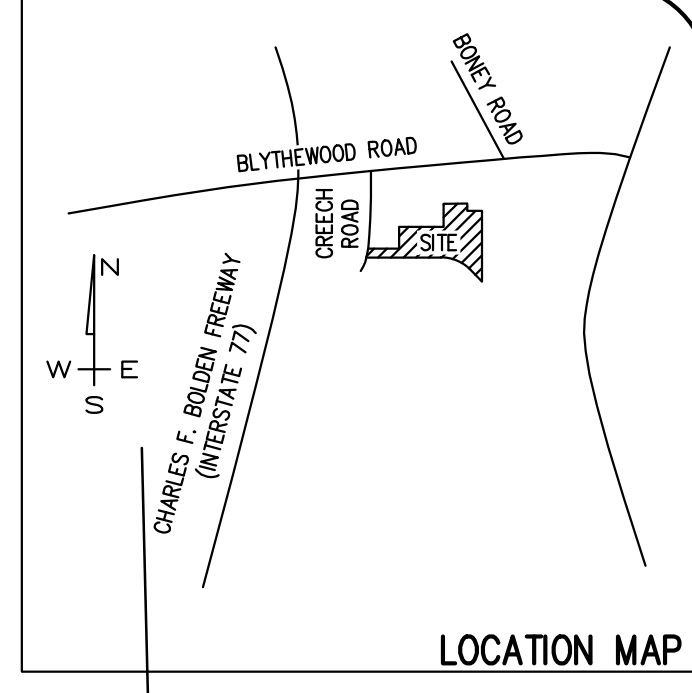
TBM-MAG NAIL  
N=865,576.5901  
E=2,005,995.7925  
ELEV.=513.47'  
(NAD83/NAVDS88)



SITE DATA	
SITE ADDRESS	CREECH ROAD BLYTHEWOOD, SC 29016
OWNER/DEVELOPER	THE PARK AT BLYTHEWOOD, LP 3715 NORTHSIDE PARKWAY, NW BUILDING 200, SUITE 175 ATLANTA, GA 30327 CONTACT: DEVIN BLANKENSHIP
CIVIL ENGINEER	SITE DESIGN, INC. 800 E. WASHINGTON STREET SUITE B GREENVILLE, SC 29601
ARCHITECT	GEHEBER LEWIS ASSOCIATES 649 11TH ST. ATLANTA, GA 30318
ZONING	TC (TOWN CENTER DISTRICT) / AO (ARCHITECTURAL OVERLAY DISTRICT)
PROPOSED USE	INDEPENDENT LIVING (48 UNITS)
TAX MAP #	PART TM# R15100-05-06
PARCEL AREA	2.86 ACRES
SETBACKS	FRONT: 25' SIDES: 10' FOR FIRST 40' FROM ROAD REAR: 0'

ASPHALT LEGEND	
[Symbol]	LIGHT DUTY ASPHALT
[Symbol]	HEAVY DUTY ASPHALT

LEGEND	
<b>SYMBOLS</b>	<b>ABBREVIATIONS</b>
CB [Symbol] CATCH BASIN	BL BUILDING LINE
DI [Symbol] DROP INLET	CL CENTERLINE
[Symbol] ELEC TRANSFORMER	CT CRIMP TOP
x 90.0 ELEVATION (EXIST. GRADE)	DE DRAINAGE EASEMENT
x 80.0 ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT
[Symbol] FIRE HYDRANT	FFE FINISHED FLOOR ELEVATION
[Symbol] GAS METER	FG FINISHED GRADE
[Symbol] GAS VALVE	IE INVERT ELEVATION
IP [Symbol] IRON PIN	IPS IRON PIN SET
LP [Symbol] LIGHT POLE	IPO IRON PIN OLD
MHS [Symbol] MANHOLE (BELLSOUTH)	N&C NAIL & CAP
MHS [Symbol] MANHOLE (SD)	OT OPEN TOP
MHS [Symbol] MANHOLE (SS)	RB REBAR
PP [Symbol] POWER POLE	RCR REINFORCED CONCRETE PIPE
TEL [Symbol] TELEPHONE	R/W RIGHT OF WAY
[Symbol] WATER METER	SSE SANITARY SEWER EASEMENT
[Symbol] WATER VALVE	SL SETBACK LINE
[Symbol] STORMWATER FLOW	VCP VITRIFIED CLAY PIPE
[Symbol] TRAFFIC FLOW	
<b>LINE TYPES</b>	
--- CABLE TV	--- SANITARY SEWER - EXIST.
-x- CHAIN LINK FENCE (PROPOSED)	--- SANITARY SEWER - NEW
-x- CHAIN LINK FENCE (EXISTING)	--- SILT FENCE
--- CONTOURS - EXIST. GRADE	--- STORM SEWER - EXIST.
--- CONTOURS - FINISHED GRADE	--- STORM SEWER - NEW
--- FIBER OPTIC	--- UNDERGROUND POWER
--- FORCE MAIN	--- UNDERGROUND TEL
--- GAS LINE	--- WATER LINE - EXIST.
--- OVERHEAD POWER	--- WATER - NEW
--- OVERHEAD TELEPHONE	--- WOOD FENCE
--- ROOF DRAIN - NEW	--- LIMITS OF DISTURBANCE



**SITE DESIGN, INC.**  
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

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GREENVILLE, SC 29601  
TEL: (864) 271-0900  
FAX: (864) 271-0902

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SC. REG. NO. 24201

**THE PARK AT BLYTHEWOOD SENIOR LIVING**

TOWN OF BLYTHEWOOD  
RICHLAND COUNTY  
SOUTH CAROLINA

THE PARK AT BLYTHEWOOD, LP  
3715 NORTHSIDE PWY, NW  
BLDG 200, STE 175  
ATLANTA, GA 30327

HORIZ. SCALE: 1" = 30'  
VERT. SCALE: N/A  
DESIGNED BY: WTB  
DRAWN BY: WTB  
CHECKED BY: CSW  
DATE: 2/19/2020

s191265-base.dwg

**SITE PLAN**

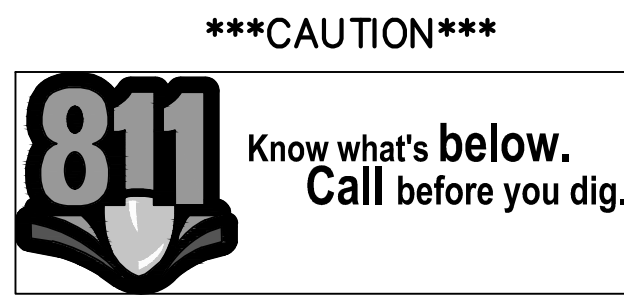
SHEET 3 OF XX

**C200**



**GRADING NOTES:**

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
3. PROOFROLLING AND COMPACTION TESTS SHALL BE ACCOMPLISHED IN THE FIELD TO TEST FILLED AREAS. INITIAL COMPACTION TESTS WILL BE CONDUCTED AT OWNER'S EXPENSE. RETESTING REQUIRED BECAUSE OF POOR COMPACTION SHALL BE CONDUCTED AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL SUPPLY RESULTS TO THE ENGINEER BEFORE ANY PRELIMINARY AND/OR FINAL APPROVALS.
4. THE GRADING CONTRACTOR SHALL PROOFROLL THE CONSTRUCTION AREA WITH HEAVY RUBBER-TIRED EQUIPMENT. ALL SOFT SPOTS SHALL BE STABILIZED BY FURTHER COMPACTION EFFORT OR UNDERCUT AND BACKFILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
5. EARTHWORK SHALL BE TO THE GRADES AND LINES SHOWN. EXISTING AND PROPOSED CONTOUR INTERVALS ARE AT 1'.
6. ALL NEW ELEVATIONS SHOWN ARE FINISH ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT THE APPROPRIATE AMOUNT TO ESTABLISH SUBGRADE ELEVATION.
7. WALL ELEVATIONS WHERE NOTED ARE TOP OF WALL AND FINISH GRADE AT BOTTOM OF WALL. SEE RETAINING WALL PLANS FOR DETAILED CONSTRUCTION INFORMATION.
8. CONTRACTOR SHALL REMOVE TOPSOIL AS NECESSARY (MINIMUM OF 4") TO PROVIDE ADEQUATE SUBGRADE FOR ROADWAYS.
9. ALL EXCAVATION SHALL BE "UNCLASSIFIED EXCAVATION". ALL NEW FILL AND UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-998). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-998).
10. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
11. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED, AND SHALL CONFORM TO SCDOT SPECIFICATIONS. ALL JOINTS SHALL BE TONGUE AND GROOVE WITH MASTIC MATERIAL.
12. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE DRAINAGE BOX WITH SOLID WALL PER SCDOT STANDARD DRAWING 719-17A OR APPROVED EQUAL.
13. ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAYS, INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
14. STANDING GRASS MUST BE EVIDENT IN AREAS THAT WERE SEED.
15. AN AS-BUILT CERTIFICATION OF THE STORMWATER MANAGEMENT SYSTEM WILL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE SITE. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR THE DELAYS RESULTING FROM NON-COMPLIANCE WITH THE DESIGN DRAWINGS.

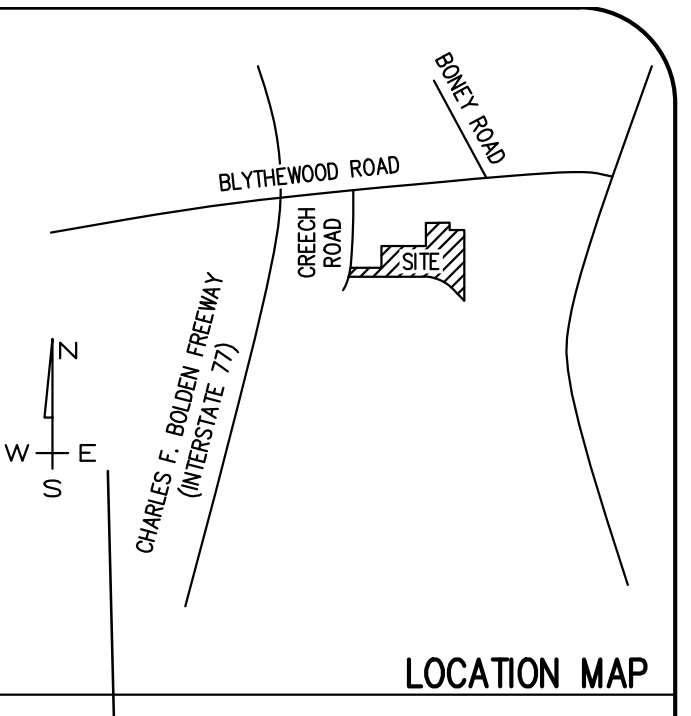


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CURVE TABLE				
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C1	53.13	283.00	N03°50'57"E	53.06
C3	157.45	283.00	S25°10'00"W	155.43

**NOTES:**

1. SLOPES WITHIN ADA PARKING AREAS CANNOT EXCEED 2% IN ANY DIRECTION. ALL ADA PARKING AREAS ARE TO BE CONSTRUCTED WITH CONCRETE.
2. SIDEWALK CROSS SLOPES ARE NOT TO EXCEED 2%.
3. ANY SIDEWALK EXCEEDING 5% RUNNING SLOPE IS CONSIDERED A RAMP. ANY RAMP RISING GREATER THAN 6" MUST HAVE AN ADA APPROVED HANDRAIL ON BOTH SIDES.
4. ANY EXCESS SOIL HAULED OFF-SITE MUST BE TO AN APPROVED PERMITTED SITE.
5. SPOT ELEVATIONS SHOWN DENOTE BOTTOM OF CURB, TOP OF ASPHALT, OR GROUND SURFACE ELEVATION UNLESS OTHERWISE NOTED.
6. TC = TOP OF CURB / BC = BOTTOM OF CURB.
7. TW = TOP OF WALL / BW = BOTTOM OF WALL.
8. BUILDING DOWNSPOUTS WILL DISCHARGE AT SPLASH BLOCKS.



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 FAX: (864) 271-0902

NO.	DATE
10.	
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8.	
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SC. REG. NO. 24201

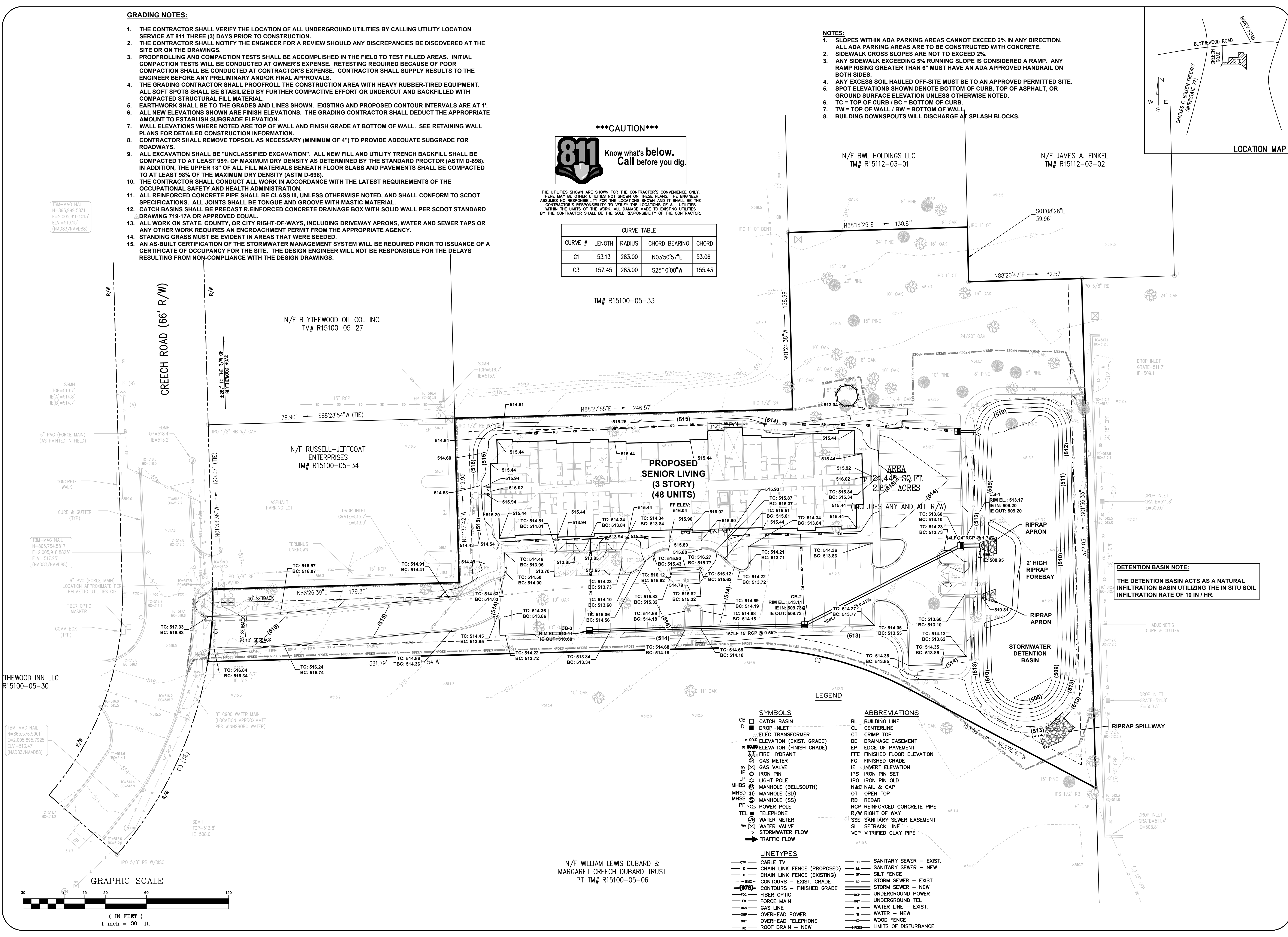
**THE PARK AT BLYTHEWOOD SENIOR LIVING**  
 TOWN OF BLYTHEWOOD  
 RICHLAND COUNTY  
 SOUTH CAROLINA

**THE PARK AT BLYTHEWOOD, LP**  
 375 NORTHSIDE PWY, NW  
 BLDG 200, STE 175  
 ATLANTA, GA 30327

HORIZ. SCALE: 1" = 30'  
 VERT. SCALE: N/A  
 DESIGNED BY: WTB  
 DRAWN BY: WTB  
 CHECKED BY: CSW  
 DATE: 2/19/2020

s191265-base.dwg  
**GRADING / STORMDRAINAGE PLAN**

SHEET 110F XX  
**C400**



TM# R15100-05-33

N/F BLYTHEWOOD OIL CO., INC.  
 TM# R15100-05-27

N/F RUSSELL-JEFFCOAT ENTERPRISES  
 TM# R15100-05-34

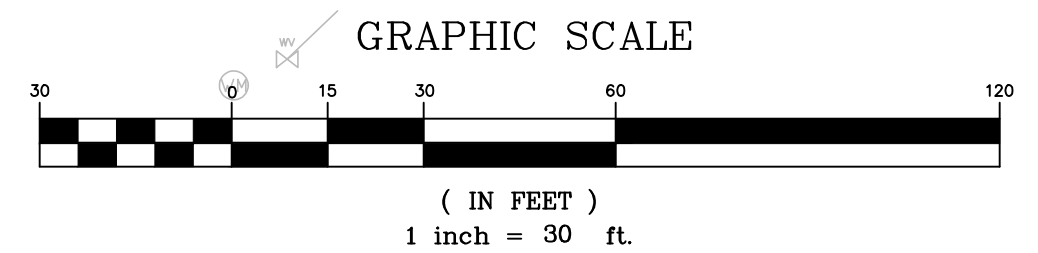
N/F WILLIAM LEWIS DUBARD & MARGARET CREECH DUBARD TRUST  
 PT TM# R15100-05-06

TBM-MAG NAIL  
 N=865,999.5831'  
 E=2,005,910.1013'  
 ELV.=519.15'  
 (NAD83/NAVDS88)

TBM-MAG NAIL  
 N=865,754.5817'  
 E=2,005,918.8825'  
 ELV.=517.25'  
 (NAD83/NAVDS88)

THE WOOD INN LLC  
 R15100-05-30

TBM-MAG NAIL  
 N=865,576.5901'  
 E=2,005,995.7925'  
 ELV.=513.47'  
 (NAD83/NAVDS88)



**SYMBOLS**

- CB CATCH BASIN
- DI DROP INLET
- ELEC TRANSFORMER
- ELEVATION (EXIST. GRADE)
- ELEVATION (FINISH GRADE)
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- IRON PIN
- LIGHT POLE
- MANHOLE (BELLSOUTH)
- MANHOLE (SD)
- MANHOLE (SS)
- POWER POLE
- TELEPHONE
- WATER METER
- WATER VALVE
- STORMWATER FLOW
- TRAFFIC FLOW

**ABBREVIATIONS**

- BL BUILDING LINE
- CL CENTERLINE
- CT CRIMP TOP
- DE DRAINAGE EASEMENT
- EP EDGE OF PAVEMENT
- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- IE INVERT ELEVATION
- IPS IRON PIN SET
- IPO IRON PIN OLD
- REBAR
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT OF WAY
- SSE SANITARY SEWER EASEMENT
- SL SETBACK LINE
- VCP VITRIFIED CLAY PIPE

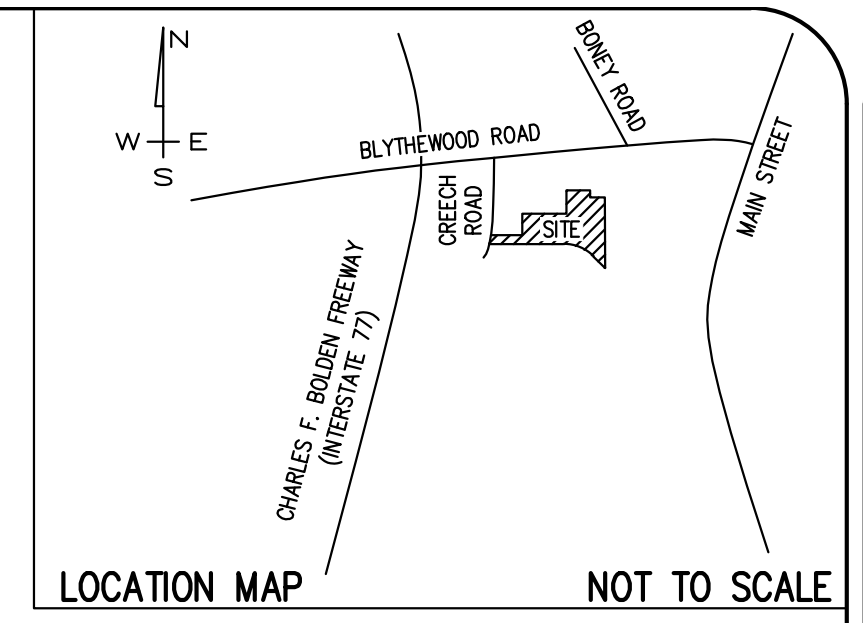
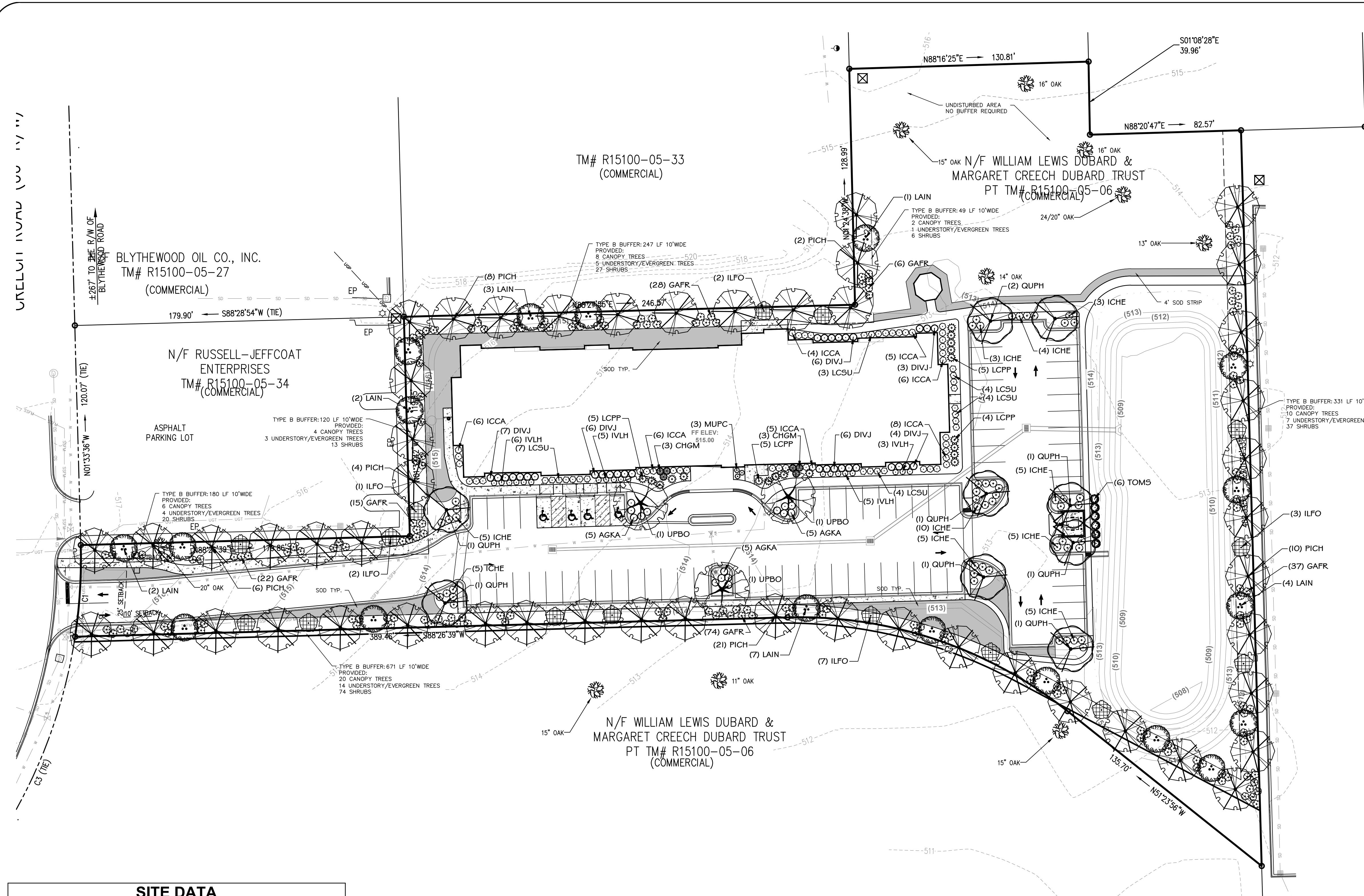
**LINETYPES**

- CABLE TV
- x- CHAIN LINK FENCE (PROPOSED)
- x- CHAIN LINK FENCE (EXISTING)
- 680- CONTOURS - EXIST. GRADE
- (678)- CONTOURS - FINISHED GRADE
- foc- FIBER OPTIC
- fm- FORCE MAIN
- gas- GAS LINE
- op- OVERHEAD POWER
- oh- OVERHEAD TELEPHONE
- rd- ROOF DRAIN - NEW
- ss- SANITARY SEWER - EXIST.
- ns- SANITARY SEWER - NEW
- sf- SILT FENCE
- so- STORM SEWER - EXIST.
- sn- STORM SEWER - NEW
- usp- UNDERGROUND POWER
- ut- UNDERGROUND TEL
- w- WATER LINE - EXIST.
- wn- WATER LINE - NEW
- wf- WOOD FENCE
- npes- LIMITS OF DISTURBANCE









**SITE DESIGN, INC.**  
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS  
 www.sitedesign-inc.com  
 100 E. WASHINGTON ST., STE B  
 GREENVILLE, SC 29601  
 TEL: (864) 271-0400  
 FAX: (864) 271-0402

NO.	DATE
10.	
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1.	

**THE PARK AT BLYTHEWOOD SENIOR LIVING**  
 CITY OF BLYTHEWOOD  
 RICHLAND COUNTY  
 SOUTH CAROLINA

**THE PARK AT BLYTHEWOOD**  
 275 NORTHSIDE PWY, NW  
 BLDG 200, STE 175  
 ATLANTA, GA 30327

**HORIZ. SCALE:** 1" = 30'  
**VERT. SCALE:** N/A  
**DESIGNED BY:** JAW  
**DRAWN BY:** JAW  
**CHECKED BY:** AGB  
**DATE:** 2/19/2020  
 S191285-LANDSCAPE.dwg

**LANDSCAPE PLAN**  
 SHEET 170F 18  
**L100**

SITE DATA	
<b>SITE ADDRESS</b>	CREECH ROAD BLYTHEWOOD, SC 29016
<b>OWNER/DEVELOPER</b>	THE PARK AT BLYTHEWOOD, LP 3715 NORTHSIDE PARKWAY, NW BUILDING 200, SUITE 175 ATLANTA, GA 30327 CONTACT: DEVIN BLANKENSHIP
<b>CIVIL ENGINEER</b>	SITE DESIGN, INC. 800 E. WASHINGTON STREET SUITE B GREENVILLE, SC 29601
<b>ARCHITECT</b>	GEHEBER WILLS ASSOCIATES 649 11TH ST. ATLANTA, GA 30318
<b>ZONING</b>	TC (TOWN CENTER DISTRICT) / AO (ARCHITECTURAL OVERLAY DISTRICT)
<b>PROPOSED USE</b>	INDEPENDENT LIVING (48 UNITS)
<b>TAX MAP #</b>	PART TM# R15100-05-06
<b>PARCEL AREA</b>	2.86 ACRES
<b>SETBACKS</b>	FRONT: 25' SIDES: 10' FOR FIRST 40' FROM ROAD REAR: 0'

SYMBOLS		ABBREVIATIONS	
CB	CATCH BASIN	BL	BUILDING LINE
DI	DROP INLET	CL	CENTERLINE
ET	ELEC TRANSFORMER	CT	CRIMP TOP
x 90.0	ELEVATION (EXIST. GRADE)	DE	DRAINAGE EASEMENT
x 90.0	ELEVATION (FINISH GRADE)	EP	EDGE OF PAVEMENT
⊕	FIRE HYDRANT	FFE	FINISHED FLOOR ELEVATION
⊕	GAS METER	FG	FINISHED GRADE
⊕	GAS VALVE	IE	INVERT ELEVATION
⊕	IRON PIN	IPS	IRON PIN SET
⊕	IRON PIN OLD	IPO	IRON PIN SET
⊕	LIGHT POLE	N&C	NAIL & CAP
MHSD	MANHOLE (BELLSOUTH)	OT	OPEN TOP
MHSD	MANHOLE (SD)	RB	REBAR
MHSS	MANHOLE (SS)	ROP	REINFORCED CONCRETE PIPE
PP	POWER POLE	R/W	RIGHT OF WAY
TEL	TELEPHONE	SSE	SANITARY SEWER EASEMENT
⊕	WATER METER	SL	SETBACK LINE
⊕	WATER VALVE	VCP	VITRIFIED CLAY PIPE
⊕	STORMWATER FLOW		
→	TRAFFIC FLOW		

**LANDSCAPING REQUIREMENTS:**

TYPE B BUFFER (AS NOTED ON THIS PLAN)

TYPE C (2) INTERIOR PLANTING  
 - EACH ROW SHALL TERMINATE IN AN ISLAND OR PLANTER CONTAINING AT LEAST ONE CANOPY SHADE TREE AND A MINIMUM OF FIVE SHRUBS PER TREE. (AS SHOWN ON L100)

TYPE D SERVICE AREAS  
 - AT LEAST A 75% PERCENT OPAQUE SCREEN FROM THE GROUND TO AT LEAST 1 FOOT HIGHER THAN THE ITEM BEING SCREENED. (AS SHOWN ON L100)

\* COMPLETE PLANT SCHEDULE, DETAILS, AND GENERAL NOTES ON L101  
 \* ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED. SEE CIVIL SET FOR GRASSING SCHEDULE.

**811** Know what's below.  
 Call before you dig.

\*\*\*CAUTION\*\*\*

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

GRAPHIC SCALE  
 0 15 30 60 120  
 ( IN FEET )  
 1 inch = 30 ft.





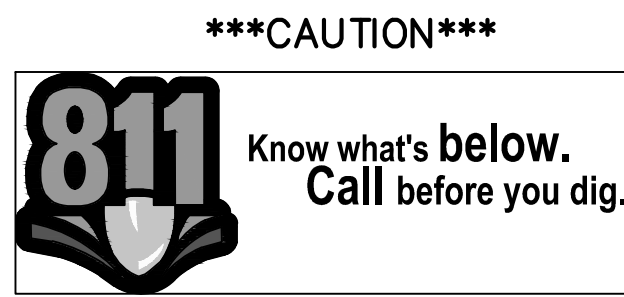


**SITE NOTES:**

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
- DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF PARKING STALL OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES.
- ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS.
- CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE 4" THICK WITH EXPANSION JOINTS AND SCORING PER DETAIL.
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
- ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
- ALL CURBING TO BE 18" FORMED CONCRETE CURBING PER DETAIL, WITH 3000 PSI CONCRETE.
- ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL.
- TRUNCATED DOMES ARE TYPICAL AT ALL HANDICAP RAMPS. HANDICAP SPACES WILL BE MARKED WITH A FREESTANDING OR WALL MOUNTED SIGN. SEE DETAIL SHEETS FOR PROPER STRIPING.

SITE PLAN KEYED NOTES	
1	18" CONCRETE CURB AND GUTTER
2	ASPHALT PAVING (SEE LEGEND FOR TYPE)
3	CONCRETE PAVING
4	DUMPSTER ENCLOSURE
5	STOP SIGN & 24" STOP BAR
6	PAVEMENT FLUSH WITH SIDEWALK
7	WHEEL STOP
8	ADA PARKING SPACE & ACCESS AISLES 1-1/2% (2% MAX) SLOPE IN ALL DIRECTIONS
9	HANDICAP SIGN
10	DETECTABLE WARNING SURFACE
11	4" PAINTED STRIPE
12	CONCRETE SIDEWALK
13	ADA RAMP
14	CURB TRANSITION
15	STRIPED PATH (4" PAINTED STRIPE)
16	GAZEBO (SEE ARCH PLANS)
17	TRAFFIC DIRECTIONAL ARROWS
18	1' WIDE CURB OPENING
19	CURB FLUME WITH SIDEWALK CROSS DRAIN
20	4' HIGH BLACK VINYL COATED CHAIN LINK FENCE WITH 4' WIDE DOUBLE SWING GATE

PARKING CALCULATIONS					
USE TYPE	USE CALCULATIONS	MINIMUM SPACES REQUIRED	MINIMUM CALCULATED SPACES	MAXIMUM SPACES ALLOWED	MINIMUM CALCULATED SPACES
PROPOSED BUILDING					
Retirement Housing Services	48 units	1.0 spaces per 3 unit	16	1.5 spaces per unit	72
		<b>TOTAL SPACES REQUIRED</b>	<b>16</b>		
		<b>TOTAL REGULAR SPACES PROVIDED</b>	<b>67</b>		
		<b>TOTAL ADA SPACES PROVIDED</b>	<b>4</b>		
		<b>TOTAL PARKING SPACES PROVIDED</b>	<b>71</b>		
Minimum Bicycle Spaces		n/a			



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CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	53.13	283.00	N03°50'57"E	53.06
C3	157.45	283.00	S25°10'00"W	155.43

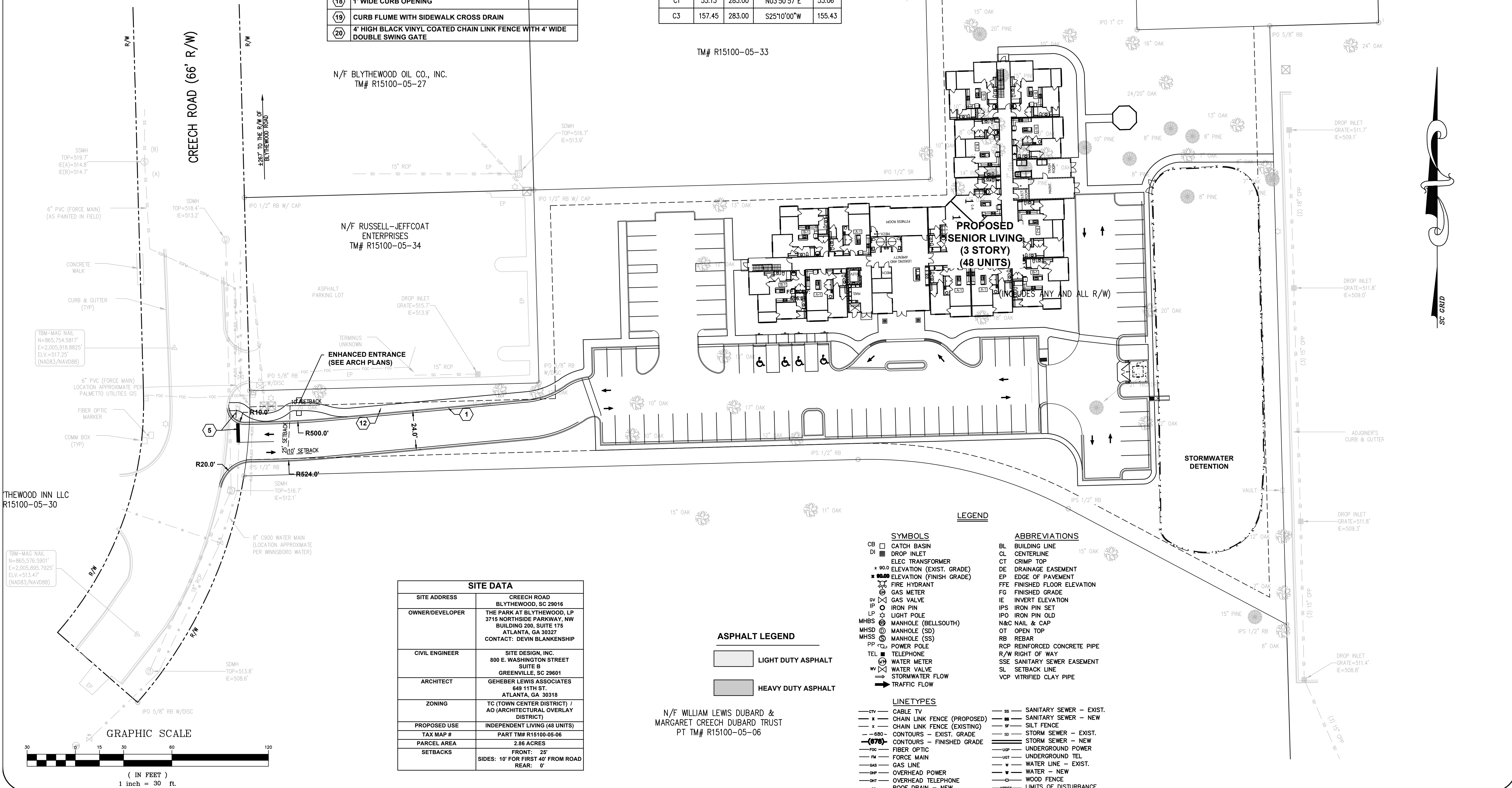
TM# R15100-05-33

N/F BLYTHEWOOD OIL CO., INC.  
TM# R15100-05-27

N/F RUSSELL-JEFFCOAT ENTERPRISES  
TM# R15100-05-34

N/F BWL HOLDINGS LLC  
TM# R15112-03-01

N/F JAMES A. FINKEL  
TM# R15112-03-02

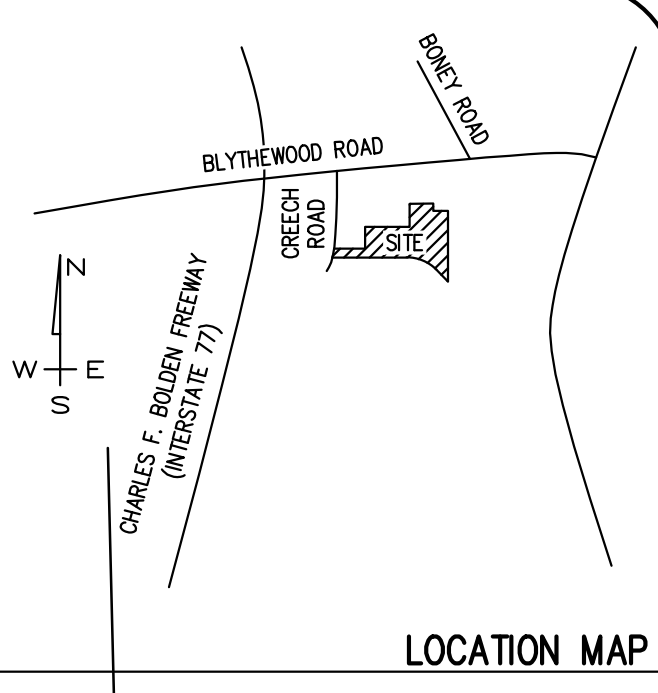


ASPHALT LEGEND	
[Symbol]	LIGHT DUTY ASPHALT
[Symbol]	HEAVY DUTY ASPHALT

N/F WILLIAM LEWIS DUBARD & MARGARET CREECH DUBARD TRUST  
PT TM# R15100-05-06

SITE DATA	
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OWNER/DEVELOPER	THE PARK AT BLYTHEWOOD, LP 3715 NORTHSIDE PARKWAY, NW BUILDING 200, SUITE 175 ATLANTA, GA 30327 CONTACT: DEVIN BLANKENSHIP
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ARCHITECT	GEHEBER LEWIS ASSOCIATES 649 11TH ST. ATLANTA, GA 30318
ZONING	TC (TOWN CENTER DISTRICT) / AO (ARCHITECTURAL OVERLAY DISTRICT)
PROPOSED USE	INDEPENDENT LIVING (48 UNITS)
TAX MAP #	PART TM# R15100-05-06
PARCEL AREA	2.86 ACRES
SETBACKS	FRONT: 25' SIDES: 10' FOR FIRST 40' FROM ROAD REAR: 0'

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- CB CATCH BASIN
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  - ELEC TRANSFORMER
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  - x 80.0 ELEVATION (FINISH GRADE)
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  - GAS METER
  - GV GAS VALVE
  - IP IRON PIN
  - LP LIGHT POLE
  - MHSD MANHOLE (BELLSOUTH)
  - MHSD MANHOLE (SD)
  - MHSS MANHOLE (SS)
  - PP POWER POLE
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  - WM WATER METER
  - WV WATER VALVE
  - STORMWATER FLOW
  - TRAFFIC FLOW
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- CIV- CABLE TV
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  - RD- ROOF DRAIN - NEW
  - SS- SANITARY SEWER - EXIST.
  - SS- SANITARY SEWER - NEW
  - SF- SILT FENCE
  - SS- STORM SEWER - EXIST.
  - SS- STORM SEWER - NEW
  - UGP- UNDERGROUND POWER
  - UGT- UNDERGROUND TEL
  - W- WATER LINE - EXIST.
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  - W- WOOD FENCE
  - NPS- LIMITS OF DISTURBANCE



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TEL: (864) 271-0900  
FAX: (864) 271-0902

SC. REG. NO. 24201

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DATE: \_\_\_\_\_

**THE PARK AT BLYTHEWOOD SENIOR LIVING**

TOWN OF BLYTHEWOOD  
RICHLAND COUNTY  
SOUTH CAROLINA

THE PARK AT BLYTHEWOOD, LP  
3715 NORTHSIDE PWY, NW  
BLDG 200, STE 175  
ATLANTA, GA 30327

HORIZ. SCALE:	1" = 30'
VERT. SCALE:	N/A
DESIGNED BY:	WTB
DRAWN BY:	WTB
CHECKED BY:	CSW
DATE:	2/19/2020

SITE PLAN

SHEET 3 OF XX

**C200**





FRONT ELEVATION



LEFT ELEVATION

RIGHT ELEVATION



GLA-ATL, LLC

649 11TH STREET  
ATLANTA, GA 30319  
VOICE: 404.228.1958  
FAX: 404.228.8350

WWW.GLAATL.COM

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RELEASE DATES:

REV	#	DATE	DESCRIPTION



STAMP:

CLIENT:

PRESTWICK COMPANIES  
3175 NORTHSIDE  
PARKWAY NW  
BLDG 200, SUITE 175  
ATLANTA, GA 30327

PROJECT:

THE PARK AT  
BLYTHEWOOD  
SENIOR LIVING

CITY OF BLYTHEWOOD  
RICHLAND COUNTY  
SOUTH CAROLINA

DRAWING TITLE:

RENDERED ELEVATIONS

DRAWN BY:      CHECKED BY:

MF                      MF

SCALE:              DATE:

3/32"=1'-0"      2/14/2020

PROJECT NUMBER:      1907

DRAWING NUMBER:

NOT RELEASED FOR CONSTRUCTION









THE PARK AT  
BLYTHEWOOD



**From:** [Devin Blankenship](#)  
**To:** [Kirk Wilson](#)  
**Cc:** [Saralyn Yarborough](#)  
**Subject:** RE: PC/BAR - The Park in Blythewood  
**Date:** Tuesday, February 25, 2020 12:44:13 PM  
**Attachments:** [image002.png](#)

---

Hey Kirk

Sorry for the delay on this. Please see below for our exterior materials list and a picture of them. Let me know if you need anything else!



**Shingle:** Certaineed, Landmark, Weathered Wood

**Brick:** Meridian Mosswood, Queen.

**Grout:** Argos: Putty (Please verify this is cost effective lighter color)

**Stone:** Meridian: Echo Ridge Southern LedgeStone

**Siding colors:**

SW 7064 Passive

SW7004 Snowbound

SW7076 Cyberspace

**Trim, soffit, fascia:**

SW7004 Snowbound

**Gutters:** Dark Bronze

Respectfully,

Devin Blankenship | Senior Development Manager | Prestwick Companies  
3715 Northside Parkway, NW | Building 200, Suite 175 | Atlanta, GA 30327  
404-949-3875 (o) | 678-592-8103 (c)

---

**From:** Kirk Wilson <[wilsonk@townofblythewoodsc.gov](mailto:wilsonk@townofblythewoodsc.gov)>

**Sent:** Thursday, February 20, 2020 1:18 PM