# HORRY COUNTY PLANNING COMMISSION



October 3, 2019

# 2019

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PLANNING & ZONING DEPT 1301 2<sup>nd</sup> Avenue Room 1D09 Conway, SC 29526



Phone: (843) 915-5340 Fax: (843) 915-6341

# Memorandum

To: Planning Commission Members

From: Susi Miller, Planning & Zoning Tech

Date: September 26, 2019

Re: Upcoming Meeting Dates and Times

September 26, 2019

3:00 p.m.

October 1, 2019

6:00 p.m.

October 3, 2019

5:30 p.m.

October 15, 2019

6:00 p.m.

October 31, 2019

3:00 p.m.

November 5, 2019

6:00 p.m.

November 7, 2019

5:30 p.m.

November 19, 2019

6:00 p.m.

**Planning Commission Workshop** 

Multi-purpose Room B, 1301 Second Ave, Conway

**County Council Meeting** 

Council Chambers, 1301 Second Ave, Conway

Planning Commission Meeting

Council Chambers, 1301 Second Ave, Conway

**County Council Meeting** 

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Planning Commission Workshop

Multi-purpose Room B, 1301 Second Ave, Conway

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#### REZONING REVIEW CRITERIA

Every zoning amendment should be analyzed with regard to the following:

#### A.

#### Comprehensiveness:

- 1. Is the change contrary to the established land-use pattern?
- 2. Would change create an isolated district unrelated to surrounding districts; i.e., Is this "spot zoning"?
- 3. Would change alter the population density pattern and thereby increase the load on public facilities (schools, sewers, streets)?
- 4. Are present district boundaries illogically drawn in relation to existing conditions?
- 5. Would the proposed change be contrary to the Future Land Use Plan?

#### B.

#### Changed Conditions:

- 1. Have the basic land use conditions been changed?
- 2. Has development of the area been contrary to existing regulations?

#### C.

#### Public Welfare:

- 1. Will change adversely influence living conditions in the neighborhood?
- 2. Will change create or excessively increase traffic congestion?
- 3. Will change seriously reduce the light and air to adjacent areas?
- 4. Will change adversely affect property values in adjacent areas?
- 5. Will change be a deterrent to the improvement of development of adjacent property in accord with existing regulations?
- 6. Will change constitute a grant of a special privilege to an individual as contrasted to the general welfare?

#### D.

#### Reasonableness:

- 1. Are there substantial reasons why the property cannot be used in accord with existing zoning?
- 2. Is the change requested out of scale with the needs of the neighborhood or the county?
- 3. Is it impossible to find adequate sites for the proposed use in districts permitting such use?

"Scenic Landscape and Conservation Areas" provide for ecosystem services and are intended to remain undeveloped in perpetuity due to the presence of ecologically significant features.

"Rural Areas" are to support compatible residential and commercial development at current zoning and to promote the rural lifestyle found throughout these areas. Institutional uses such as churches and schools are also found scattered throughout these areas. Increased density is supported through mitigation efforts that support sustainable development.

"Rural Communities" are traditional settlements and places of congregation in which any proposed development is compatible with surrounding densities and current settlement patterns.

"Rural Corridors" are areas of low growth and rural land uses in which any proposed development is compatible with surrounding densities and current settlement patterns.

"Crossroads Communities" are traditional settlements and places of congregation in which any proposed development is compatible with surrounding densities and current settlement.

"Suburban Corridors" are linear transportation routes that support community focused suburban land uses and densities. Corresponding commercial, recreational and institutional development meeting the day-to-day needs of the resident population and businesses are suitable uses for these corridors. Future development using the Suburban Corridor designation to determine use and density must have access to the corridor.

**"Economic Activity Centers"** are centrally located nodes of regional importance that are capable of supporting transportation services, industrial, commercial, residential, recreational and institutional uses at urban densities.

"Urban Corridors" are linear transportation routes that support regional focused urban land uses and densities. Corresponding transportation services, industrial, commercial, recreational and institutional uses at urban densities, meeting the regional needs of the resident, business and visitor population are suitable for these corridors. Future development using the Urban Corridor designation to determine use and density must have access to the corridor.

"Urban Communities" are settlements with a variety of urban and suburban residential, commercial, institutional, recreational and industrial uses capable of absorbing a large proportion of future growth. Urban Communities are proximate to Urban and Suburban Corridors.

"Transitional Growth Areas" are those lands located near the current municipal boundaries of the Cities of Conway and Loris as well as the Town of Aynor. The Transitional Growth Areas follow the current water and sewer service districts of these jurisdictions. Future uses in these areas include suburban and urban residential, commercial, institutional and recreational at varying densities and intensities.

"Cities" are those areas located within the jurisdictional boundaries of an incorporated city. Land uses within "Cities" are defined according to the future land use maps for each jurisdiction.

# **Zoning Districts**

(Highlighted districts are no longer available for use in the rezoning of property)

GRn	General Residential "n"	One, two, multi-family, apartment and condominiums at a specified density per acre. No mobile homes are allowed.
GR	General Residential	High density development including apartments and condominiums
MRD 3	Multi-Residential Three	county as identified on the future land use map
MRD 2	Multi-Residential Two	Allows for mixed residential development in the <i>suburban</i> areas of the county as identified on the future land use map  Allows for mixed residential development in the <i>urban</i> areas of the
MRD 1	Multi-Residential One	county as identified on the future land use map.
MHP	Mobile Home Park	Mobile home developments in which lots are leased Allows for mixed residential development in the <i>rural</i> areas of the
MSF6	Residential, including mobile homes	Minimum lot size - 6,000 sq. ft.(SF) or 8,000 sq. ft. (duplex)
MSF7	Residential, including mobile homes	Minimum lot size - 7,000 sq. ft.
MSF8.5	Residential, including mobile homes	Minimum lot size - 8,500 sq. ft.
MSF10	Residential, including mobile homes	Minimum lot size - 10,000 sq. ft.
MSF14.5	Residential, including mobile homes	Minimum lot size - 14,500 sq. ft.
MSF20	Residential, including mobile homes	Minimum lot size - 20,000 sq. ft.
MSF40	Residential, including mobile homes	Minimum lot size - 40,000 sq. ft.
SF6	Residential, no mobile homes allowed	Minimum lot size - 6,000 sq. ft.(SF) or 8,000 sq. ft. (duplex)
SF7	Residential, no mobile homes allowed	Minimum lot size - 7,000 sq. ft.
SF8.5	Residential, no mobile homes allowed	Minimum lot size - 8,500 sq. ft.
SF10	Residential, no mobile homes allowed	Minimum lot size - 10,000 sq. ft.
SF14.5	Residential, no mobile homes allowed	Minimum lot size - 14,500 sq. ft.
SF20	Residential, no mobile homes allowed	Minimum lot size - 20,000 sq. ft.
SF40	Residential, no mobile homes allowed	Minimum lot size - 40,000 sq. ft.
RE	Rural Estates	Rural family farms with minimum 1-acre lots excluding mobile home and including livestock and limited commercial
BO1	Boating/Marine Commercial	Businesses reliant on the ocean, rivers and streams
CO1	Conservation/Preservation	Preserves environmentally sensitive areas, such as wetlands, bays, creeks etc.
CP	Conservation/Preservation	Preserves environmentally sensitive or scenic lands
CFA	Commercial Forest Agriculture	Agriculture, forestry, low-density residential, commercial, social cultural, recreational and religious uses
		religious uses
FA	Forest Agriculture	(maximum size of 4,500 sq.ft.), social, cultural, recreational, and
THE SECOND		religious uses Agriculture, forestry, low-density residential, limited commercial
LFA	Limited Forest Agriculture	commercial (agriculturally related), social, cultural, recreational, and
		farming activities  Agriculture, low-density residential, forestry uses as well as limited
AG7	Manufactured Agricultural Ranchettes	Residential development of two acres or greater including manufactured, modular and mobile homes with non-commercial
AG6	Agricultural Ranchettes	Residential on two acres or greater with non-commercial farming activities & horses
AG5	Agricultural Manufactured Estate	manufactured, modular and mobile homes with non-commercial farming activities, horses & limited farm animals
AG4	Agricultural Estate	Residential development of five acres or greater with non-commercial farming activities, horses and limited farm animals Residential development of five acres or greater including
AG3	Agricultural Community Services	Intended for businesses that meet the needs of the rural community
AG2	Commercial Agriculture	nature
		and crops Farm related businesses characterized as agriculture-commercial in
AG1	Agriculture	Businesses for the raising, care and harvesting of trees, plants, animals
(mgmgmc	a districts are no longer available for use in the rezemble	

RR RC	Resort Residential Resort Commercial	Hotels, motels and resort condominiums Hotels, motels, condominiums, and marinas
RH	Resort Housing	Medium to high-density housing for transient population
AC	Amusement Commercial	Businesses providing entertainment as its primary activity
AM1	Indoor Amusement Commercial	Amusement related uses within buildings or facilities
AM2	Outdoor Amusement Commercial	Amusement related uses generally located outside buildings or facilities
NC	Neighborhood Commercial	Businesses intended to serve the surrounding neighborhood
CC	Community Commercial	Pedestrian-oriented commercial centers
HC	Highway Commercial	Automobile-oriented commercial development
CR	Commercial Recreation	Allows uses focused on commercially operated recreational activities
EIO	Education, Institution, Office	Allows uses focused on providing services that meet the education, medical, personal, professional, religious, and social needs of the community
RCS	Retail Consumer Services	Allows uses focused on commercially operated recreational activities public consumes, purchases or participates in as part of their day-to-day activities
TRS	Transportation Related Services	Allows uses that are auto reliant or focused on providing services for autos, public or private transportation facilities, services and communication facilities
RE1	Neighborhood Retail Services	Retail business or services with limited impacts intended to serve immediate neighborhood
RE2	Community Retail Services	Retail Business uses near communities or along transportation corridors
RE3	Convenience & Auto-related Services	Retail and service uses located adjacent to arterials or collector streets
RE4	High Bulk Retail	Retail or services businesses requiring outdoor storage areas
PA1	Passenger & Product Transportation	Intended for businesses that move people or goods within Horry County or to other destinations
OPI	Office/Professional/Institutional	Office developments, hospitals, and nursing homes
PR1	Office-Professional	Office or institutional uses
PR2	Campus Institution, Office & Research	Research, institutional & light industrial uses that are developed in "park" settings
ME1	Inpatient Medical Services	Inpatient and outpatient medical services (doctor's office, clinics etc.)
ME2	Outpatient Medical Services	Intense outpatient medical services (drug treatment centers, counseling facilities etc.)
LI	Limited Industrial	Industries not considered objectionable in terms of smoke noise, etc.
HI	Heavy Industrial	Large scale manufacturing, processing, and assembling operations
MA1	Limited Manufacturing and Industrial	Industries that do not pose potential environmental or safety hazards
MA2	General Manufacturing and Industrial	Industrial and manufacturing uses that may require outdoor storage
MA3	Heavy/Intense Manufacturing and Industrial	Intense manufacturing and industrial uses not appropriate in proximity to commercial or residential uses Allows for mixture of residential, commercial, office, industrial uses
PDD	Planned Development District	on a single site provided a written narrative and conceptual plan are submitted (PDD replaces the PUD district)
DP	Destination Park	Recreational sites for travel trailers and campers



# Horry County Committed to Excellence HORRY COUNTY PLANNING COMMISSION MEETING AGENDA

October 3, 2019 - 5:30 p.m.

I.	Call to Order – 5:30 p.m.			
II.	Invocation & Pledge of Allegiance			
III.	Approval of Minutes			
	1. Planning Commission Workshop – July 25, 2019       12-14         2. Planning Commission Meeting – August 1, 2019       15-17         3. Planning Commission Workshop – August 29, 2019       18-20         4. Planning Commission Meeting – September 5, 2019       21			
IV.	Public Input- You must register in the Planning Department one hour prior to the meeting.			
v.	New Business			
VI.	Street Names - NO PUBLIC HEARING REQUIRED			
VII.	Rezoning Requests			
	<ol> <li>Ord 86-19 (9/17/16 County Council remanded to Planning Commission for reconsideration)</li> <li>2019-07-006 – South Causeway Builders LLC – Request to rezone 129 acres from Commercial Forest Agriculture (CFA) to Residential (SF10) located at Four Mile Rd and Oak St in Conway (Council Member – O. Bellamy)</li> </ol>			
	<ol> <li>Ord 89-19 (9/17/16 County Council remanded to Planning Commission for reconsideration)</li> <li>2019-08-001 – G3 Engineering, agent for Robert M Floyd Jr – Request to rezone 72.62 acres from Forest Agriculture (FA) to Residential (SF10) located on Ridge Rd in Gallivants Ferry (Council Member – A. Allen)</li> </ol>			
	<ol> <li>Ord 87-19 (9/17/16 County Council remanded to Planning Commission for reconsideration)</li> <li>2019-08-002 – ROWE Professional Services Co, agent for Clearwell LLC – Request to rezone 18.8 acres from Commercial Agriculture (AG2) to Residential (SF10) located on Hwy 905 in Conway (Council Member – O. Bellamy)</li> </ol>			
	<ol> <li>Ord 84-19 (9/17/16 County Council remanded to Planning Commission for reconsideration)</li> <li>2019-08-004 – Pamela C Timms – Request to rezone 1 acre from Residential (SF40) to General Manufacturing &amp; Industrial (MA2) located at the Intersection of Hwy 544 &amp; Peachtree Rd in Myrtle Beach (Council Member – C. Crawford)</li> </ol>			
	<ol> <li>Ord 82-19 (9/17/16 County Council remanded to Planning Commission for reconsideration)</li> <li>2019-08-005 – David E Phillips III – Request to rezone 1.1 acres from Commercial Forest</li> <li>Agriculture (CFA) to Multi-Residential Three (MRD3) located off Cashmere Ln in North Myrtle</li> <li>Beach (Council Member – H. Worley)</li> </ol>			



## HORRY COUNTY PLANNING COMMISSION MEETING

6.	<b>2019-08-007</b> – David E Phillips III, agent for Kimberly Ann Green – Request to rezone 1.25 acres from Commercial Forest Agriculture (CFA) to Multi-Residential Three (MRD3) located off Cashmere Ln in North Myrtle Beach (Council Member – H. Worley)
7.	Ord 88-19 (9/17/16 County Council remanded to Planning Commission for reconsideration) 2019-08-006 – Venture Engineering, agent for Horry Furniture Co – Request to rezone .72 acre from Planned Development District (PDD) to High Bulk Retail (RE4) located on Hwy 544 & Linda Dr in Conway (Council Member – J. Vaught)
8.	PREVIOUSLY DEFERRED 2019-08-003 – Ed Hardee, agent for Palmetto Synergistic Research LLC – Request to rezone 5.96 acres from Forest Agriculture (FA) to Limited Manufacturing and Industrial (MA1) located at 8856 Pee Dee Hwy in Conway (Council Member – A. Allen)60-64
9.	<b>2019-09-001</b> – Sandy Schumacher, agent for S & H Investments Group, LLC – Request to rezone 1.03 acres from Commercial Forest Agriculture (CFA) to General Manufacturing and Industrial (MA2) located at 2429 Wise Rd in Conway (Council Member – O. Bellamy)
10.	2019-09-002 – ROWE Professional Services Co, agent for Vivian C Brown – Request to amend the existing Multi-Residential One (MRD1) and to rezone an additional 21.22 acres from Forest Agriculture (FA) to Multi-Residential One (MRD1) located on Cates Bay Hwy in Conway (Council Member – A. Allen)
11.	2019-09-003 – ROWE Professional Services Co, agent for Omero Loredo Ibanez – Request to rezone .8 acre from Residential (SF20) to Residential (SF14.5) located at Monroe Cir in Myrtle Beach (Council Member – C. Crawford)
12.	2019-09-004 – Sandra Jones & Lee O Edge – Request to rezone .4 acre from Commercial Forest Agriculture (CFA) to Residential (SF10) located off Little River Neck Rd in North Myrtle Beach (Council Member – H. Worley)
13.	2019-09-005 – DDC Engineers, agent for Rebecca M Collins – Request to amend the existing PUD located at Hwy 31 & Hwy 544 in Myrtle Beach (Council Member – C. Crawford)
14.	2019-09-006 – DDC Engineers, agent for Rebecca M Collins & Robert C Collins – Request to rezone 266.57 acres from Commercial Forest Agriculture (CFA) to Multi-Residential Three (MRD3) located at Hwy 31 & Hwy 544 in Myrtle Beach (Council Member – C. Crawford)
15.	2019-09-007 – Venture Engineering, agent for Pamela Squires – Request to rezone .6 acre from Residential (SF10) to Office Professional (PR1) located on Hwy 319 in Conway (Council Member – O. Bellamy)
16.	2019-09-008 – DRG LLC, agent for Tupelo Grove LLC & Cottonwood Cove LLC - Request to amend the existing PDD, located on River Oaks Dr in Myrtle Beach (Council Member – B. Howard)  Design Modification – To waive access management requirements



#### VIII. Text Amendments

	1.	An Ordinance to amend the Index Map of the Official Map Ordinance, Ordinance 153-99 for Horry County adding the Conway Perimeter Road to the Horry County Official Index Map106-107
	2.	An Ordinance to amend Zoning Appendix B of the Horry County Code of Ordinances pertaining to Value Added Processing
	3.	An Ordinance to amend Zoning Appendix B of the Horry County Code of Ordinances pertaining to Building Height and Setback Compliance Regarding the Elevation of Structures within Special Flood Hazard Areas.  112-114
	4.	An Ordinance to amend Appendix B, Zoning Ordinance of the Horry County Code of Ordinances pertaining to Open Yard Storage
	5.	An Ordinance to amend Appendix B Zoning, Article VII, Section 724 "Commercial Zoning Districts" of the Horry County Code of Ordinances
IX.	Ad	journ



# Committed to Excellence HORRY COUNTY PLANNING COMMISSION WORKSHOP **AGENDA**

September 26, 2019 – 3:00 p.m.

I.	Call to Order – 3:00 p.m.		
II.	Developments - Street Names - No Public Hearing Required  Communication – Information to Board Members (Separate Handout)		
III.			
2. 3.	Article V, Section 527, Landscaping and Tree Preservation Article VII, Section 752, Multi-Residential District (MRD) Article X, Sign Regulations Article XV, Amendments		
IV.	V. New Business		
V.	Design Modification		
VI.	Rezoning Requests		
1.	Ord 86-19 (9/17/16 County Council remanded to Planning Commission for reconsideration) 2019-07-006 – South Causeway Builders LLC – Request to rezone 129 acres from Commercial Forest Agriculture (CFA) to Residential (SF10) located at Four Mile Rd and Oak St in Conway (Council Member – O. Bellamy)		
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### VIII. Adjourn

STATE OF SOUTH CAROLINA	)	<b>Horry County Planning Commission</b>	
	)	Planning Commission Workshop	
COUNTY OF HORRY	)	Thursday, July 25, 2019	

The Horry County Planning Commission met on Thursday, July 25, 2019 at 3:00 p.m. in Multi-purpose Room B of the Government & Justice Center located at 1301 Second Avenue in Conway, SC. The following commission members were present: Steven Neeves, Charles Brown, Pam Cecala, Martin Dawsey, Burnett Owens, Jody Prince, Jerome Randall, Joey Ray, and Chuck Rhome. Staff present included David Schwerd, Charles Suggs, Andy Markunas, Tom Garigen, David Jordan, John Danford, Katie Moore, Tom Dobrydney, and Susi Miller. Commission members not present: Marvin Heyd and Chris Hennigan.

In accordance with the SCFOIA, notices of the meeting were sent to the press (and other interested persons and organizations requesting notification) providing the agenda, date, time, and place of the meeting.

<u>CALL TO ORDER</u> – Chairman Steven Neeves called the meeting to order at approximately 3:00 p.m. There was a quorum present.

# STREET NAMES – Developments - Street Names - No Public Hearing Required LITTLE RIVER POSTAL DISTRICT (29566)

#### **Hidden Brooke**

Spring Tree Drive

#### **CONWAY POSTAL DISTRICT (29526)**

#### Plantersfield

Muster Field Court Tillage Court Cornhusker Drive Rice Field Court Plantersfield Drive

#### **Homewood Estates**

Homewood Estates Drive Cherry Sunburst Drive High Valley Drive

Charles Suggs gave an overview. Chuck Rhome made a motion to approve as presented and Jerome Randall seconded. The motion carried unanimously.

#### **DESIGN MODIFICATIONS**

PIN 12200000003 – Christine Jarrott – John Danford gave an overview. The applicant proposed to subdivide the parcel to create seven parcels of which three have public roadway frontage. Access to four additional lots would require a shared private drive easement. Staff recommended approval with the condition that the future easement be constructed to county road standards. The applicant was present to address questions and concerns. Chuck Rhome made a motion to approve with conditions and Jerome Randall seconded. The motion carried unanimously.

PIN 35200000003 - Deltes Allene Franks Estate – Access Management Requirements. John Danford gave an overview. The applicant proposed to subdivide the property into nine parcels to be serviced via a thirty foot shared private drive accessed from an unimproved private road. Staff recommended Planning Commission Workshop July 25, 2019

disapproval due to the following; Access rights documentation had not been submitted, this would pose several safety issues and compromises the intent of the Land Development Regulations. Angela Graham was present to address questions and concerns. Chuck Rhome made a motion to disapprove and Charlie Brown seconded. The motion carried unanimously.

PIN 26700000016 - Joseph Dainese – Creation of Flag Lot. John Danford gave an overview. The applicant requested to create a flag lot and a lot with less than fifty feet of street frontage. Staff recommended approval. The property does not adversely compromise the intent of the Land Development Regulations. The lot is currently topographically constrained and limited in street frontage due to lots on either side. Joseph Daiese was present to address questions and concerns. Pam Cecala made a motion to approve and Chuck Rhome seconded. The motion carried unanimously.

PIN 36200000002 – Buckeye Forest – Access Management Requirements. John Danford gave an overview. The applicant requested for a fifty foot road with two lanes to serve as external access for sixty-three lots and for a fifty foot road with two lanes to serve as internal access for fifty-three lots. Staff recommended approval and stated that upon recording Phase two, all lots will have multiple ingress and egress routes out of the development. Felix Pitts was present to address questions and concerns. Charlie Brown made a motion to approve and Marty Dawsey seconded. The motion carried unanimously.

#### REZONING REQUESTS

2019-07-001 – Rick Vines, agent for Vines Investments LLC – Request to amend the Lakeside Crossing Planned Unit Development (PUD) to allow auto repair located at 489 Myrtle Ridge Dr. in Conway. Charles Suggs gave an overview. Sean Kinsella was present to address questions and concerns.

**2019-07-002** – Donnette Smith & Ramon Landicho - Request to rezone 18.64 acres from Residential (MSF10) to Manufactured Agricultural Ranchettes (AG7) located on Old Todd Ferry Rd in Loris. Charles Suggs gave an overview. Donnette Smith was present to address questions and concerns.

2019-07-003 – E3 Studio LLC, agent for SFG Furnishings & Accents LLC – Request to rezone 6.66 acres from Commercial Forest Agriculture (CFA) to High Bulk Retail (RE4) located on Hwy 90 in Little River. Charles Suggs gave an overview. Erin Blalock and Julie Almeida were present to address questions and concerns.

2019-07-004 – Crescent Moon Land Surveying, agent for Nicolae Cretu – Request to rezone .41 acre from Residential (SF10) to Residential (SF8.5) located on Piedmont Ave in Myrtle Beach. Charles Suggs gave an overview. The applicant was not present.

**2019-07-005** – Deborah Wilson & Sharon Brown – Request to rezone 1.17 acres from Commercial Forest Agriculture (CFA) to Residential (SF14.5) located at the corner of Cenith Dr & Tom E Chestnut Rd in North Myrtle Beach. Charles Suggs gave an overview. Deborah Wilson was present to address questions and concerns.

2019-07-007 – G3 Engineering, agent for Palmetto Main Street Partners II, LLC – Request to rezone 42.93 acres from Commercial Forest Agriculture (CFA) to Multi-Residential Three (MRD3) located on Old Sanders Dr. in Little River. Charles Suggs gave an overview. Felix Pitts was present to address questions and concerns.

**2019-07-008** – G3 Engineering, agent for Twin City Equipment Co – Request to rezone 8.5 acres from Forest Agriculture (FA) to Passenger & Product Transportation (PA1) located on Hwy 9 in Loris. Charles Suggs gave an overview. Felix Pitts was present to address questions and concerns.

Planning Commission Workshop July 25, 2019 **2019-07-009** – G3 Engineering, agent for Vern's Investments LLC – Request to rezone 15.26 acres from Commercial Forest Agriculture (CFA), Forest Agriculture (FA), and Transportation Related Services (TRS) to Residential (SF10) located on Hwy 9 in Longs. Charles Suggs gave an overview. Felix Pitts was present to address questions and concerns.

**2019-07-010** – G3 Engineering, agent for MBN Breakers Inc. – Request to rezone 8.4 acres from Neighborhood Retail Services (RE1) to High Bulk Retail (RE4) located on Hwy 9 in Longs. Charles Suggs gave an overview. Felix Pitts was present to address questions and concerns.

**2019-07-006** – South Causeway Builders LLC – Request to rezone 129 acres from Commercial Forest Agriculture (CFA) to Residential (SF10) located at Four Mile Rd and Oak St in Conway. Charles Suggs gave an overview. Clint Richardson was present to address questions and concerns.

2019-07-011 – Forrest Beverly, agent for Beverly Homes LLC – Request to rezone 80.72 acres from Commercial Forest Agriculture (CFA) to Residential (SF10) located on Hwy 90 across from Astoria Park in Conway. Charles Suggs gave an overview. Clint Richardson was present to address questions and concerns.

With no further business, Charlie Brown made a motion to adjourn and Joey Ray seconded. The motion carried unanimously, and the meeting was adjourned at approximately 3:55 p.m.

STATE OF SOUTH CAROLINA	)	<b>Horry County Planning Commission</b>
	)	Planning Commission Meeting
COUNTY OF HORRY	)	Thursday, August 1, 2019

The Horry County Planning Commission met on Thursday, August 1, 2019 at 5:30 p.m. in Multi-purpose Room B of the Government & Justice Center located at 1301 Second Avenue in Conway, SC. The following commission members were present: Steven Neeves, Marvin Heyd, Charles Brown, Pam Cecala, Martin Dawsey, Chris Hennigan, Burnett Owens, Jody Prince, and Joey Ray. Staff present included David Schwerd, Charles Suggs, David Jordan, Andy Markunas, Thom Roth, and Susi Miller. Commission members not present: Jerome Randall and Chuck Rhome

In accordance with the SCFOIA, notices of the meeting were sent to the press (and other interested persons and organizations requesting notification) providing the agenda, date, time, and place of the meeting.

<u>CALL TO ORDER</u> – Chairman Steven Neeves called the meeting to order at approximately 5:30 p.m. There was a quorum present. Marvin Heyd led the invocation and the Pledge of Allegiance.

#### APPROVAL OF MINUTES

Planning Commission Workshop – June 27, 2019 Planning Commission Meeting – July 11, 2019

With no corrections or additions to the minutes, Marvin Heyd made a motion to approve as presented and Pam Cecala seconded. The motion to approve the minutes carried unanimously.

<u>PUBLIC INPUT</u> – Amelia Wood – Request to reconsider the Design Modification approval for PIN 36200000002, Buckeye Forest that was granted at the Planning Commission workshop on July 25, 2019. Her concerns were traffic and flooding.

#### **NEW BUSINESS** –

None

#### <u>NEW STREET NAMES – NO PUBLIC HEARING REQUIRED.</u> Garden City Postal District (29576)

#### **Woodland Subdivision**

Tidal Creek Drive

David Schwerd gave an overview. Joey Ray made a motion to approve as presented and Chris Hennigan seconded. The motion to approve carried unanimously.

#### REZONING REQUESTS

Joey Ray made a motion to move item #10 on the agenda (2019-07-006) to #1 and Marvin Heyd seconded. The motion carried unanimously.

2019-07-006 – South Causeway Builders LLC – Request to rezone 129 acres from Commercial Forest Agriculture (CFA) to Residential (SF10) located at Four Mile Rd and Oak St in Conway. Charles Suggs gave an overview. Forrest Beverly was present and requested deferral so he will have time to confer with the surrounding community prior to the next meeting. His goal is to stay in line with adjacent properties. Marvin Heyd made a motion to defer and Charlie Brown seconded. The motion carried unanimously.

Planning Commission Meeting August 1, 2019 2019-07-001 – Rick Vines, agent for Vines Investments LLC – Request to amend the Lakeside Crossing Planned Unit Development (PUD) to allow auto repair located at 489 Myrtle Ridge Dr. in Conway. David Schwerd gave an overview. Ray Poutre, Thomas Lynch and Marcella Fahey spoke in opposition of the request. Their concerns were noise, property value and drainage. Rick Vines was present to address questions and concerns. Staff recommended approval. Marvin Heyd made a motion to approve and Chris Hennigan seconded. The motion carried unanimously.

2019-07-002 — Donnette Smith & Ramon Landicho - Request to rezone 18.64 acres from Residential (MSF10) to Manufactured Agricultural Ranchettes (AG7) located on Old Todd Ferry Rd in Loris. David Schwerd gave an overview. There was no public input. Donnette Smith was present to address questions and concerns and stated that she will only have horses and chickens, no pigs. Staff recommended approval. Chris Hennigan made a motion to approve and Pam Cecala seconded. The motion carried unanimously.

2019-07-003 – E3 Studio LLC, agent for SFG Furnishings & Accents LLC – Request to rezone 6.66 acres from Commercial Forest Agriculture (CFA) to High Bulk Retail (RE4) located on Hwy 90 in Little River. David Schwerd gave an overview. There was no public input. Julie Almeida and Erin Blalock were present to address questions and concerns. Staff recommended approval. Marvin Heyd made a motion to approve and Chris Hennigan seconded. The motion carried unanimously.

2019-07-004 – Crescent Moon Land Surveying, agent for Nicolae Cretu – Request to rezone .41 acre from Residential (SF10) to Residential (SF8.5) located on Piedmont Ave in Myrtle Beach. David Schwerd gave an overview. There was no public input. Ray Eshelman was present to address questions and concerns. Staff recommended approval. Pam Cecala made a motion to approve and Chris Hennigan seconded. The motion carried unanimously.

2019-07-005 – Deborah Wilson & Sharon Brown – Request to rezone 1.17 acres from Commercial Forest Agriculture (CFA) to Residential (SF14.5) located at the corner of Cenith Dr & Tom E Chestnut Rd in North Myrtle Beach. David Schwerd gave an overview. There was no public input. Deborah Wilson was present to address questions and concerns. Staff recommended approval. Chris Hennigan made a motion to approve and Joey Ray seconded. The motion carried unanimously,

2019-07-007 – G3 Engineering, agent for Palmetto Main Street Partners II, LLC – Request to rezone 42.93 acres from Commercial Forest Agriculture (CFA) to Multi-Residential Three (MRD3) located on Old Sanders Dr. in Little River. David Schwerd gave an overview. Debbie Sapliway, Wayne Russell, Cindy Williams and Charles Davis spoke in opposition of the request. Their concerns were drainage and flooding. Felix Pitts, David Gantt, and Doug Wendell were present to address questions and concerns. Staff recommended approval. Marvin Heyd made a motion to approve and Charlie Brown seconded. The motion carried unanimously.

2019-07-008 – G3 Engineering, agent for Twin City Equipment Co – Request to rezone 8.5 acres from Forest Agriculture (FA) to Passenger & Product Transportation (PA1) located on Hwy 9 in Loris. David Schwerd gave an overview. George Myers spoke in opposition of the request. His concerns were traffic and noise. Dale Shelley spoke in favor of the request. Felix Pitts was present to address questions and concerns and requested to remove the parcel, PIN 15504020003 from the request. Staff recommended approval. Charlie Brown made a motion to approve and Jody Prince seconded. The motion carried unanimously.

2019-07-009 & 2019-07-010 – G3 Engineering, agent for Vern's Investments LLC & MBN Breakers Inc. – Request to rezone 15.26 acres from Commercial Forest Agriculture (CFA), Forest Agriculture (FA), and Transportation Related Services (TRS) to Residential (SF10) and 8.4 acres from Neighborhood Retail Services (RE1) to High Bulk Retail (RE4) located on Hwy 9 in Longs. David Schwerd gave an overview.

Planning Commission Meeting August 1, 2019 Ken Lear, Dennis Kirin and Wilma McMeans spoke in opposition of the request. Their concerns were traffic, property value, and aesthetics. Felix Pitts was present to address questions and concerns and stated that the roads will be improved and landscaping requirements will be met. Staff recommended approval. Charlie Brown made a motion to approve and Chris Hennigan seconded. The motion carried unanimously.

2019-07-011 – Forrest Beverly, agent for Beverly Homes LLC – Request to rezone 80.72 acres from Commercial Forest Agriculture (CFA) to Residential (SF10) located on Hwy 90 across from Astoria Park in Conway. Charles Suggs gave an overview. Larry McClaskey, Bob Lofgrem, Christine Tengen and Amelia Wood spoke in opposition of this request. Their concerns were stormwater, drainage, flooding, water pressure, water quality, traffic and too many houses on Hwy 90. Forrest Beverly was present to address questions and concerns. Staff recommended approval. Charlie Brown made a motion to approve and Joey Ray seconded. The motion carried unanimously.

With no further business, Marvin Heyd made a motion to adjourn and it was seconded. The motion carried unanimously, and the meeting was adjourned at 8:25 p.m.

STATE OF SOUTH CAROLINA	)	<b>Horry County Planning Commission</b>
	)	Planning Commission Workshop
COUNTY OF HORRY	)	Thursday, August 29, 2019

The Horry County Planning Commission met on Thursday, August 29, 2019 at 3:00 p.m. in Multi-purpose Room B of the Government & Justice Center located at 1301 Second Avenue in Conway, SC. The following commission members were present: Steven Neeves, Marvin Heyd, Charles Brown, Pam Cecala, Martin Dawsey, Burnett Owens, Jody Prince, Jerome Randall, Joey Ray, and Chuck Rhome. Staff present included David Schwerd, David Jordan, Andy Markunas, Thom Roth, John Danford, Katie Moore, Tom Dobrydney, and Susi Miller. Commission members not present: Chris Hennigan,

In accordance with the SCFOIA, notices of the meeting were sent to the press (and other interested persons and organizations requesting notification) providing the agenda, date, time, and place of the meeting.

<u>CALL TO ORDER</u> – Chairman Steven Neeves called the meeting to order at approximately 3:00 p.m. There was a quorum present.

#### **DESIGN MODIFICATIONS**

269-00-00-0006 – Dwight Sanders: To allow the creation of a flag lot. John Danford gave an overview. Joey Ray made a motion to approve and Chuck Rhome seconded. The motion carried unanimously.

450-00-00-0007 & 456-00-00-0032 — Appeal of Staff Enforcement: Island Green. John Danford gave an overview. He explained that the applicant is appealing the staff enforcement of improvements to Sunnehanna Drive and Freewoods Road, requiring they be financially guaranteed or constructed with the platting of Phase 2 (99 lots) of Island Green. The applicant requested to overturn staff enforcement as approved by Planning Commission and allow 137 lots (Phases 1 & 2) to be recorded without any financial guarantee or improvements to Sunnehanna Drive and Freewoods Road. Bob Williams, the Developer, Sammy Gay and Steve Powell from Venture Engineering were present to address questions and concerns. Steve Powell stated that it is not financially feasible to get this amount guaranteed for a letter of credit. Bob Williams stated that construction on Phase 1 will begin in about sixty days and pointed out where the phases start and stop. He also stated that the back lots are not readily accessible without road improvements. They are planning to start the road improvements concurrently with the development of Phases 1 & 2 and to complete Phase 2 and the road improvements at the same time. The developer stated that the homes will not sell if the road is in disrepair and they have a contract with the builder. Staff recommended disapproval. Steven Neeves made a motion to approve with conditions:

- 1. No improvements or financial guarantee to Sunnehanna Drive and Freewoods Road up to the recording of 134 lots.
- 2. Prior to or concurrent with construction plan approval for the 135th lot, plans shall be submitted and approved for improvements to Sunnehanna Drive and Freewoods Road.
- 3. Required improvements to Sunnehanna Drive and Freewoods Road to be financially guaranteed prior to recording the 135th lot.
- 4. All improvements to Sunnehanna Drive and Freewoods Road to be completed prior to recording the 232nd lot.

Marvin Heyd seconded. The motion carried 6:4.

STREET NAMES - Developments - Street Names - No Public Hearing Required MYRTLE BEACH POSTAL DISTRICT (29588)

Forestbrook Cove

**Duran Minor off Butler Rd** 

Forestbrook Cove Circle

Ronald Court

Planning Commission Workshop August 29, 2019

#### LITTLE RIVER POSTAL DISTRICT (29566)

Heather Glen, Ph 5

Heather Glen, Ph 6

McGregor Drive

Strudwick Drive

Thorburn Court

#### AYNOR POSTAL DISTRICT (29511)

#### **Minor Development - Anderson**

Rusty Spur Trail

#### **MURRELLS INLET POSTAL DISTRICT (29576)**

#### Oak Arbor

**Emery Oak Drive** 

Pin Oak Drive

#### **MYRTLE BEACH POSTAL DISTRICT (29579)**

#### Bella Vita, Ph 2A

Preciado Street

#### **LONGS POSTAL DISTRICT (29568)**

#### **Hickory Cove**

Autumn Olive Place

Deerberry Place

Flatleaf Court

Gooseberry Way

#### **CONWAY POSTAL DISTRICT (29526)**

#### Sugarloaf

Averyville Drive

Stevia Court

High Falls Drive

John Danford gave an overview. Chuck Rhome made a motion to approve as presented and Marvin Heyd seconded. The motion carried unanimously.

#### REZONING REQUESTS

**2019-07-006** – South Causeway Builders LLC – Request to rezone 129 acres from Commercial Forest Agriculture (CFA) to Residential (SF10) located at Four Mile Rd and Oak St in Conway. John Danford gave an overview .The applicant was not present

**2019-08-001** – G3 Engineering, agent for Robert M Floyd Jr – Request to rezone 72.62 acres from Forest Agriculture (FA) to Residential (SF10) located on Ridge Rd in Gallivants Ferry. David Schwerd gave an overview. Felix Pitts from G3 Engineering was present to address questions and concerns.

2019-08-002 – ROWE Professional Services Co, agent for Clearwell LLC – Request to rezone 18.8 acres from Commercial Agriculture (AG2) to Residential (SF10) located on Hwy 905 in Conway. David Schwerd gave an overview. Ryan Harvey was present to address questions and concerns.

2019-08-003 – Ed Hardee, agent for Palmetto Synergistic Research LLC – Request to rezone 5.96 acres from Forest Agriculture (FA) to Limited Manufacturing and Industrial (MA1) located at 8856 Pee Dee Hwy in Conway. David Schwerd gave an overview and stated that the applicant has requested deferral. Marvin Heyd made a motion to defer and Pam Cecala seconded. The motion carried unanimously.

Planning Commission Workshop August 29, 2019 2019-08-004 – Pamela C Timms – Request to rezone 1 acre from Residential (SF40) to General Manufacturing & Industrial (MA2) located at the Intersection of Hwy 544 & Peachtree Rd in Myrtle Beach. David Schwerd gave an overview. The applicant was not present.

2019-08-005 – David E Phillips III – Request to rezone 1.1 acres from Commercial Forest Agriculture (CFA) to Multi-Residential Three (MRD3) located off Cashmere Ln in North Myrtle Beach. David Schwerd gave an overview. The applicant was not present.

**2019-08-007** – David E Phillips III, agent for Kimberly Ann Green – Request to rezone 1.25 acres from Commercial Forest Agriculture (CFA) to Multi-Residential Three (MRD3) located off Cashmere Ln in North Myrtle Beach. David Schwerd gave an overview. The applicant was not present.

**2019-08-006** – Venture Engineering, agent for Horry Furniture Co – Request to rezone .72 acre from Planned Development District (PDD) to High Bulk Retail (RE4) located on Hwy 544 & Linda Dr. in Conway. David Schwerd gave an overview. Steve Powell from Venture Engineering was present to address questions and concerns.

#### TEXT AMENDMENTS

An Ordinance to amend the Index Map of the Official Map Ordinance, Ordinance 153-99 for Horry County adding the Conway Perimeter Road to the Horry County Official Index Map. David Schwerd gave an overview.

An Ordinance to amend Zoning Appendix B of the Horry County Code of Ordinances pertaining to Value Added Processing. David Schwerd gave an overview and stated that this is for working farms to process cultivated items. This will allow local farmers to generate additional revenue.

An Ordinance to amend Zoning Appendix B of the Horry County Code of Ordinances pertaining to Building Height and Setback Compliance Regarding the Elevation of Structures within Special Flood Hazard Areas. David Schwerd gave an overview stating that this amendment will allow for the measurement of structures from the base flood elevation.

With no further business, Marvin Heyd made a motion to adjourn and it was seconded. The motion carried unanimously, and the meeting was adjourned at approximately 4:57 p.m.

STATE OF SOUTH CAROLINA	)	<b>Horry County Planning Commission</b>
	)	Planning Commission Meeting
COUNTY OF HORRY	)	Thursday, September 5, 2019

The Horry County Planning Commission Meeting that was scheduled for Thursday, September 5, 2019 at 5:30 p.m. in Multi-purpose Room B of the Government & Justice Center located at 1301 Second Avenue in Conway, SC was cancelled due to impending Hurricane Dorian. Horry County offices were closed September 5 & 6, 2019. Rezoning requests were sent to County Council.

In accordance with the SCFOIA, notices of the meeting were sent to the press (and other interested persons and organizations requesting notification) providing the agenda, date, time, and place of the meeting.

Planning Commission Meeting September 5, 2019

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Date Notification Mailed: 7/11/19

Notified:54

Report Date: 7/11/19

BY

PROPERTY INFORMATION

Applicant	South Causeway Builders LLC (843) 458-2793 (Energov # 046137)	Rezoning Request #	Ord. 86-19 2019-07-006
PIN#	32500000002	County Council District #	7 - Bellamy
Site Location	Four Mile Rd & Oak St in Conway	Staff Recommendation	
	1 Sul Mille Nd d Sak St III Soliway	PC Recommendation	
Property Owner Contact	South Causeway Builders LLC	T o recommendation	
Contact		Size (in acres) of Request	129

ZONING DISTRICTS

Current Zoning	CFA
Proposed Zoning	SF10
Proposed Use	Residential Subdivision

LOCATION INFOR	MATION	ADJACE	NT PROP	ERTIES
Flood and Wetland Information	X & A	FA	FA	SF40
Public Health & Safety (EMS/fire) in miles	3.2	SF10	Subject Property	CFA
Utilities	Public	CFA	CFA	CFA
Character of the Area	Residential			

#### COMMENTS

Comprehensive Plan District: Suburban Corridor & Transitional Growth Area

Overlay/Area Plan: 319 Area Plan

Discussion: The applicant is requesting to rezone to allow a residential development consisting of 202 single family detached units with a minimum lot size of 10,000 sq. ft. As shown, the project would have a gross density of 1.6 units/ac and a net density of 2.0 units/ac. The preliminary wetlands assessment identifies 27.2 acres of wetlands. The project proposes three points of access onto Four Mile Rd. One of the access points is via cul-de-sac oriented along the center of the project.

The parcel falls within the bounds of the 319 Area Plan, which was adopted in 2011, post the adoption of the Envision 2025 Comprehensive Plan (2008). The Goals and Strategies of the 319 Area Plan included; limiting the impact of residential growth by assuring new residential development reflects the rural character of the area. To achieve the referenced goal, the area plan encourages limiting further subdivision of land for residential purposes to a minimum of ½ acre in size.

The adjacent project, The Summit, was rezoned to SF10 in 2005, and consists of 52 lots with a gross density of 1.9 units/ac.

This parcel is designated as Rural, Rural Communities, and Scenic & Conservation in the IMAGINE 2040 comprehensive plan.

Request was deferred on 8/1/19

Rezoning request was deemed approvable by the Planning Commission as a result of no Planning Commission hearing. 9/17/16 County Council remanded to Planning Commission for reconsideration.

**Public Comment:** 

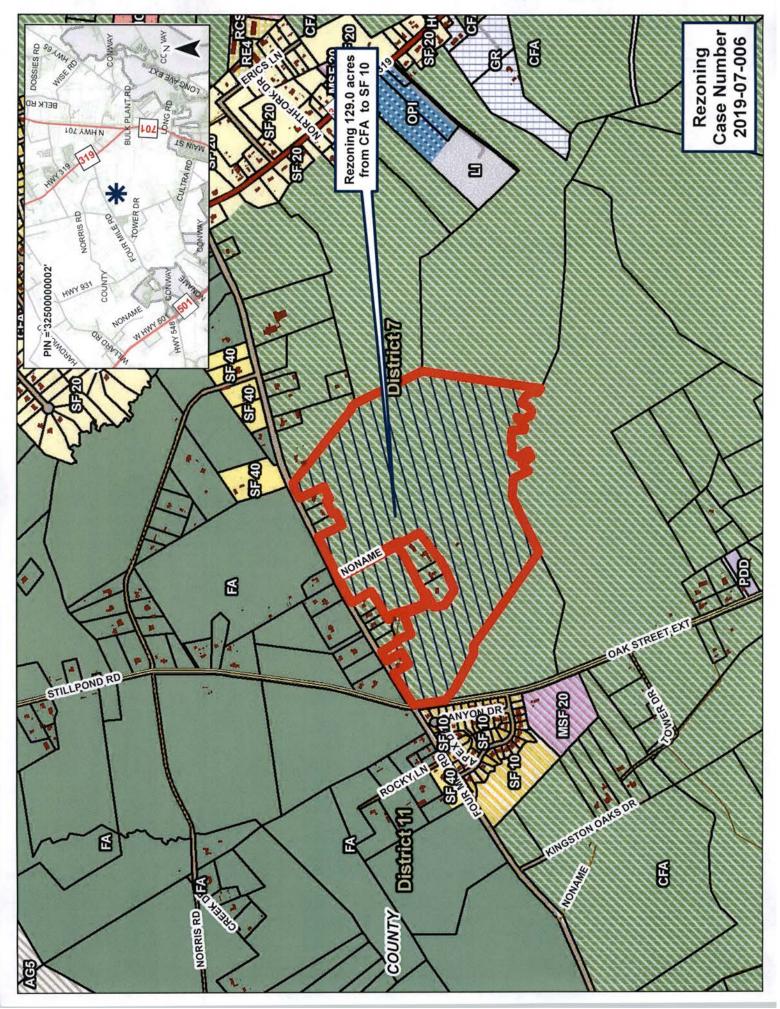
#### TRANSPORTATION INFORMATION

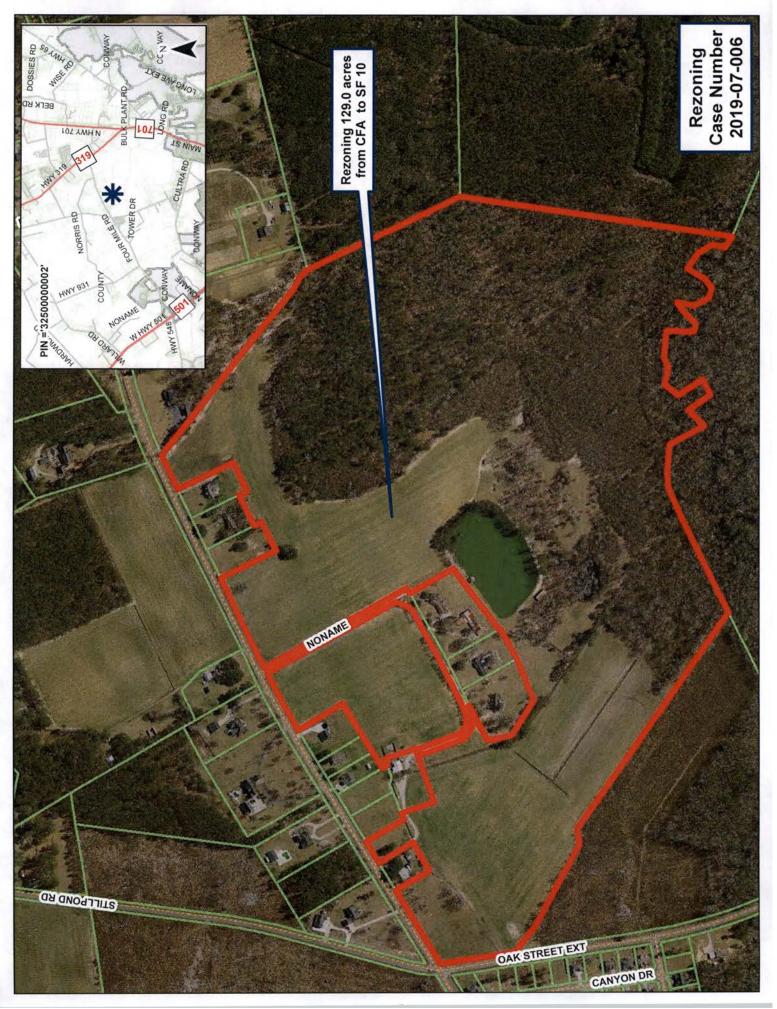
Daily Trips based on existing use / Max Daily Trips based on current zoning	0 / 1,000	Existing Road Conditions	State, Paved, Two lane
Projected Daily Trips based on proposed	1,616 / 2,000	Rd, Station,	Four Mile Rd, Station 665
use / Max Daily Trips based on proposed		Traffic AADT (2018)	2,800 ADT
zoning)		% Road Capacity	15-20%

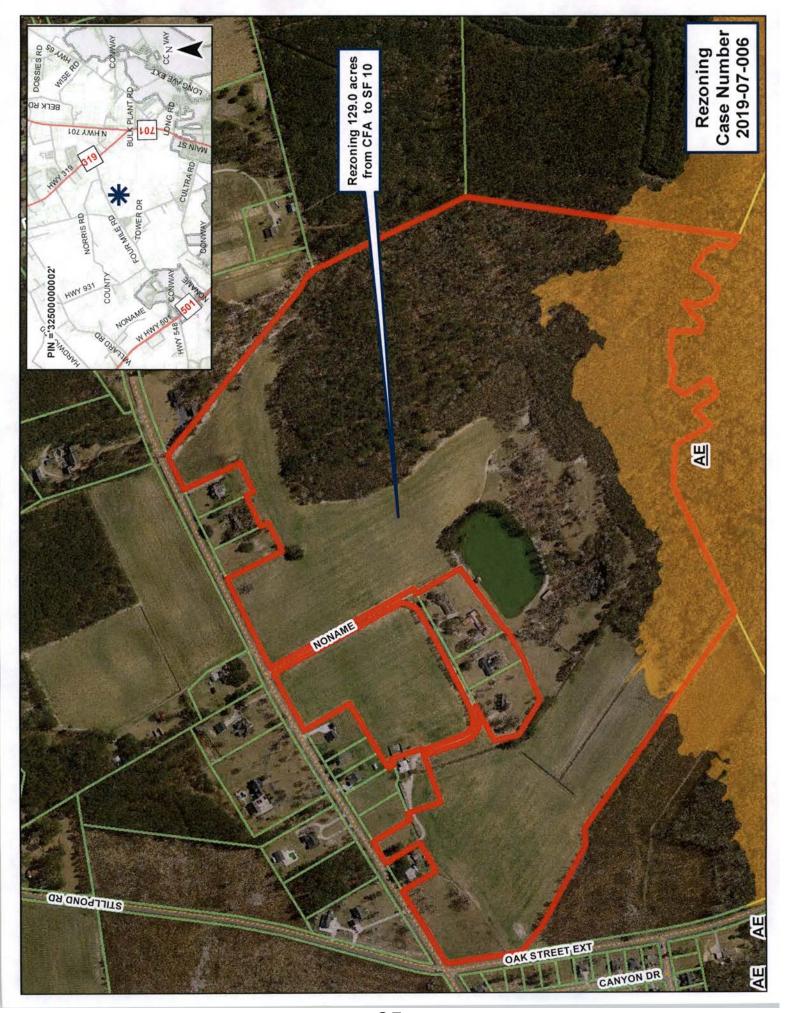
Proposed Improvements

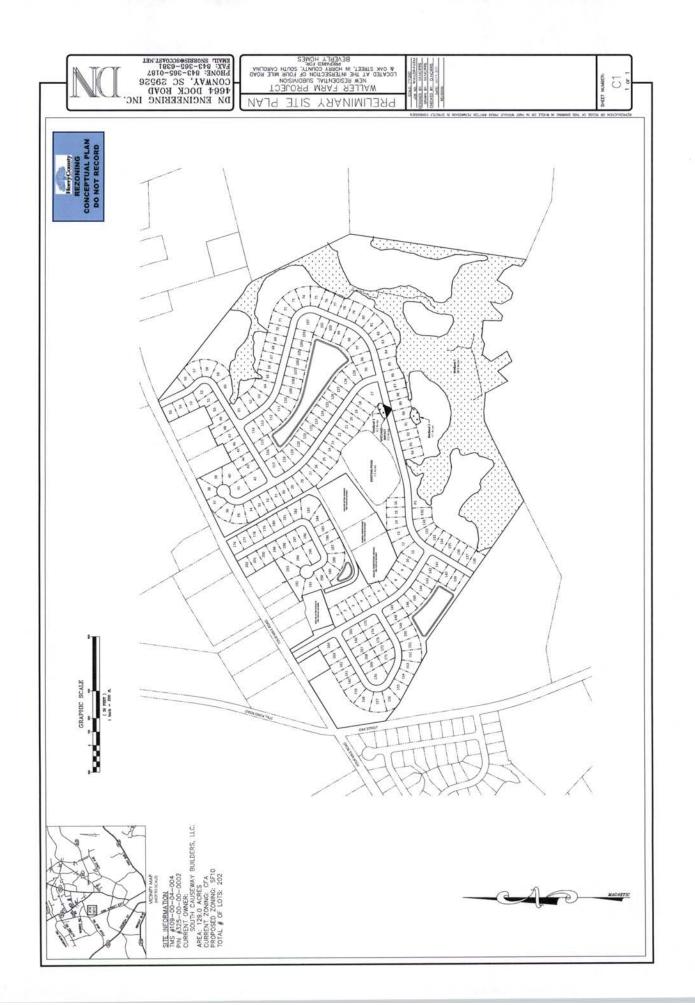
#### DIMENSIONAL STANDARDS

111111111111111111111111111111111111111	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	SF10	CFA (com/res)	CFA (com/res)	SF40	SF10	
Min. Lot Size (in square feet)	10000	43560/21780	43560/21780	40000	10000	
Front Setback	25	60/25	60/25	50	25	
Side Setback	10	25/10	25/10	20	10	
Rear Setback	15	40/15	40/15	30	15	
Bldg. Height	35	35/35	35/35	35	35	











#### **HCS Facilities - Planning Department**

#### Horry County Subdivision and Rezoning Review Comments

**Public Hearing Date:** 

09/05/2019

**Request Number:** 

2019-07-006

**Request Type:** 

Rezoning PIN #32500000002

Zoning:

CFA to SF10

School Attendance Zones: Homewood Elementary

Whittemore Park Middle

**Conway High** 

**Comments:** 

Homewood Elementary:

Functional Capacity: 639 2019-2020 Forecast: 586

Percent Capacity:

92%

Whittemore Park Middle:

Functional Capacity: 884 2019-2020 Forecast: 785 Percent Capacity: 89%

Conway High:

Functional Capacity: 2095 2019-2020 Forecast: 1296 Percent Capacity: 62%

P	RC	P	FI	RT	Y	IN	FO	RM	AT	101	U

Applicant	G3 Engineering (843) 237-1001 (Energov # 046374)	Rezoning Request #	Ord 89-19 2019-08-001
PIN#	2440000022	County Council District #	11 - Allen
Site Location	Ridge Rd in Gallivants Ferry	Staff Recommendation	
Oite Location	Ridge Ru III Gallivants Perry	PC Recommendation	
Property Owner Contact	Robert M Floyd Jr	To recommendation	
Contact	Trobbit in Floya of	Size (in acres) of Request	72.62

#### ZONING DISTRICTS

Current Zoning	FA
Proposed Zoning	SF10
Proposed Use	Residential Subdivision

LOCATION INFOR		ADJACE	NT PROP	ERTIES
Flood and Wetland Information	X	FA	FA	FA
Public Health & Safety (EMS/fire) in miles	3.5	MSF10	Subject Property	FA
Utilities	Public	SF10	SF40	FA
Character of the Area	Residential			

#### COMMENTS

Comprehensive Plan District: Transitional Growth Area

Overlay/Area Plan: None

Discussion: The applicant is requesting to rezone to allow a residential development consisting of 77 single family detached units with a minimum lot size of 10,000 sq. ft. As shown, the project would have a gross density of 1.06 units/ac and a net density of 1.5 units/ac. The preliminary wetlands assessment identifies 21.4 acres of wetlands. Twelve of the the 77 units are proposed with shared direct access to ridge rd. and the remaining 65 units are proposed on a single access. A design modification for the number of units serviced by a single access will be required at the time of development review.

This parcel is designated as Rural and Scenic & Conservation in the IMAGINE 2040 comprehensive plan.

Rezoning request was deemed approvable by the Planning Commission as a result of no Planning Commission hearing. 9/17/16 County Council remanded to Planning Commission for reconsideration.

**Public Comment:** 

#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	0/250	Existing Road Conditions	State & County Roads, Paved, Two lane
Projected Daily Trips based on proposed	616/616	Rd, Station,	US 501, Station 151
use / Max Daily Trips based on proposed		Traffic AADT (2017)	26,100 ADT
zoning)		% Road Capacity	50-55%

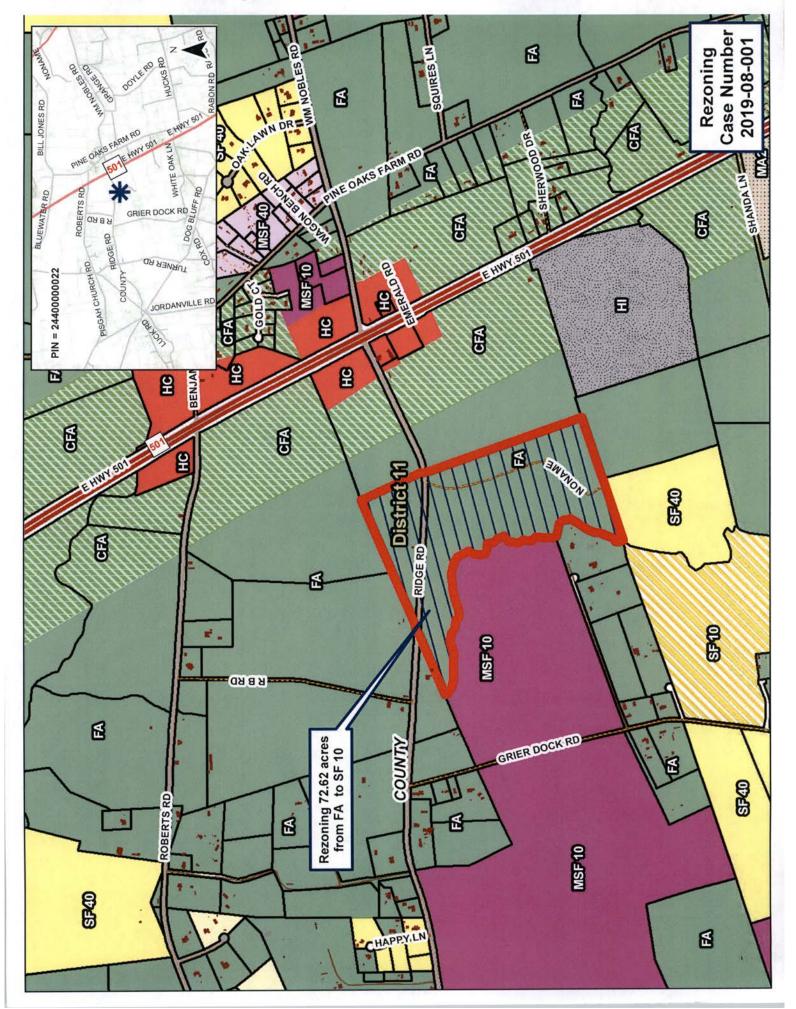
Proposed Improvements

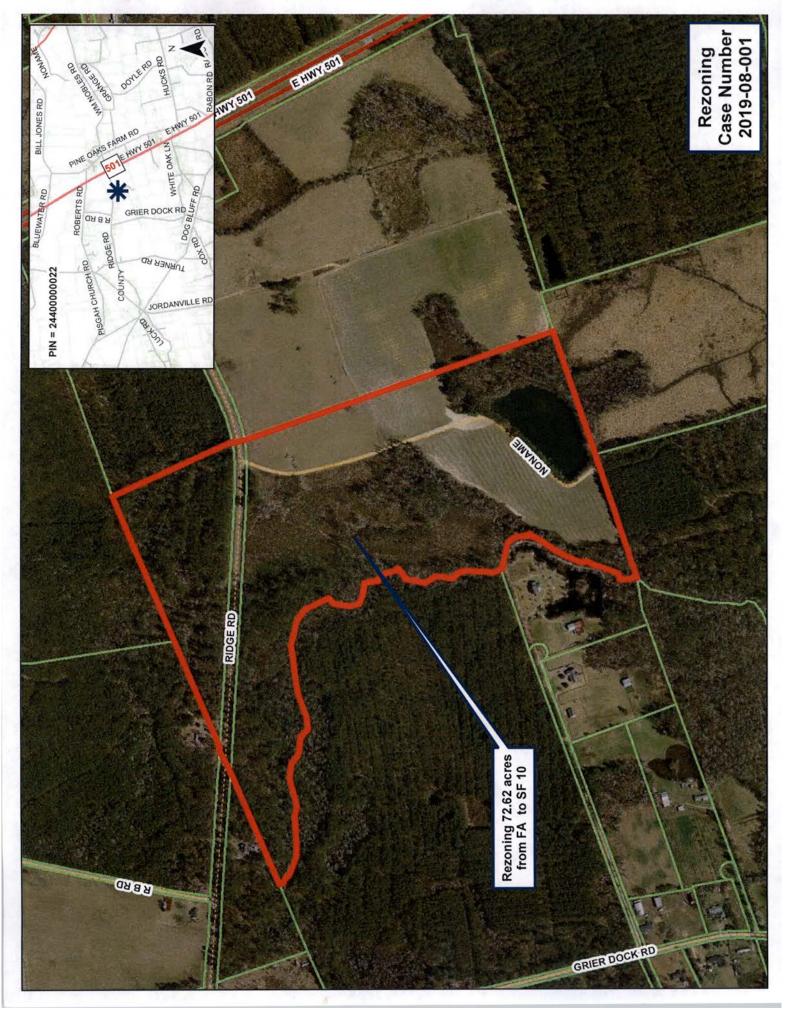
#### DIMENSIONAL STANDARDS

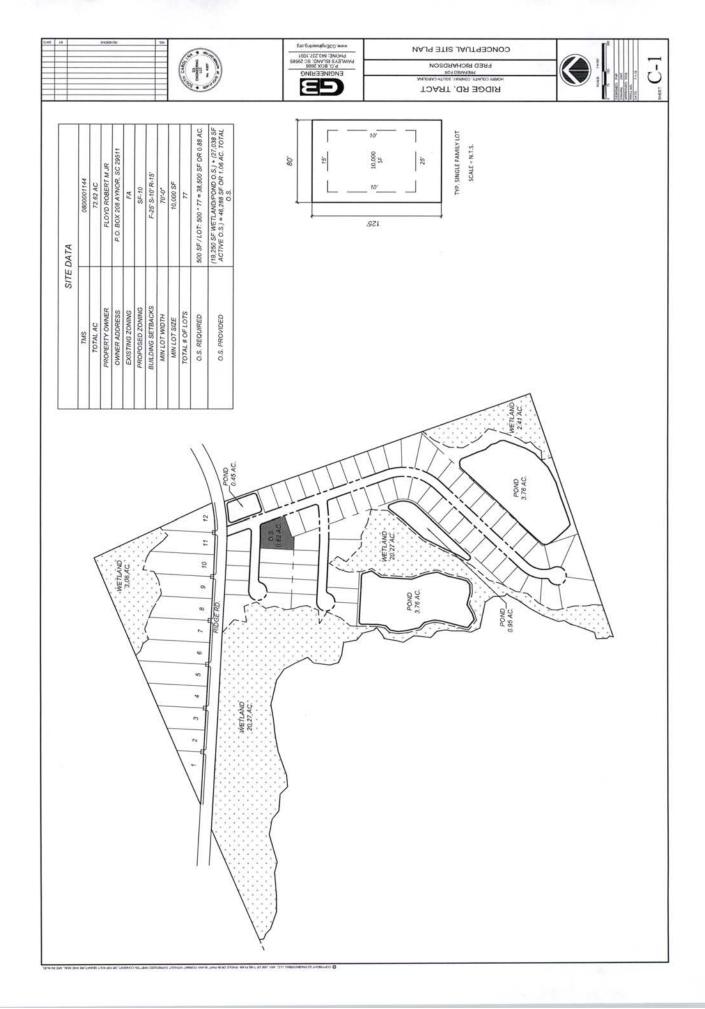
11/12/200	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	SF10	FA (Com/Res)	FA (Com/Res)	SF40	SF10	MSF10
Min. Lot Size (in square feet)	10000	43560/21780	43560/21780	40000	10000	10000
Front Setback	25	60/25	60/25	50	25	25
Side Setback	10	25/10	25/10	20	10	10
Rear Setback	15	40/15	40/15	30	15	15
Bldg. Height	35	35/35	35/35	35	35	35

14 Date Notification Mailed: 8/15/2019

Report Date: 8/15/2019 BY







# **Wetands Map**

Date: 07/26/2017

Customer(s): Sarah R. Floyd Total Acres: 65.5

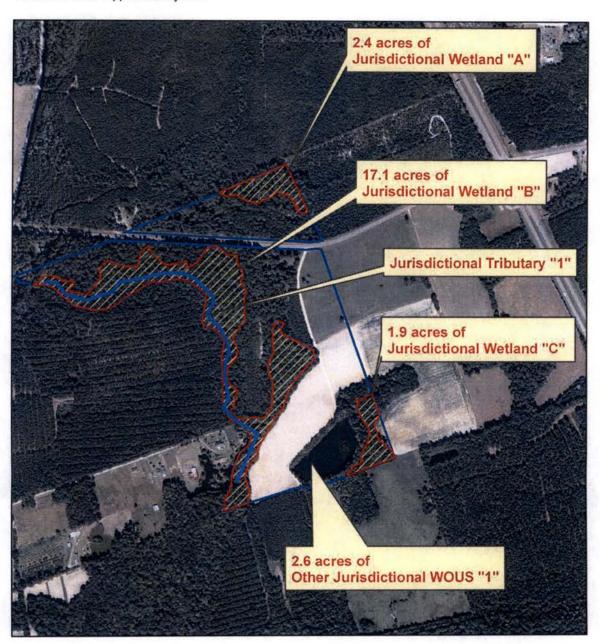
Non-Wetlands Acres: 44.1

Wetlands Acres: Approximately 21.4

Company: Johnson's Environmental Consulting LLC

Assisted By: Samuel L. Johnson Jr State and County: SC, Horry Tax Map Number: 080-00-01-144

820 Feet





Area\_of\_Interest

wetlands

Jurisdictional -Tributary -X

32

0

410



#### HCS Facilities - Planning Department

#### Horry County Subdivision and Rezoning Review Comments

**Public Hearing Date:** 

09/05/2019

Request Number:

2019-08-001

Request Type:

Rezoning PIN #2400000022

Zoning:

FA to SF10

School Attendance Zones: Aynor Elementary

Aynor Middle

**Aynor High** 

Comments:

**Aynor Elementary:** 

Functional Capacity:

720

2019-2020 Forecast:

800

Percent Capacity:

111%

Aynor Middle:

Functional Capacity:

707

2019-2020 Forecast:

690

Percent Capacity:

98%

Aynor High:

Functional Capacity:

1059

2019-2020 Forecast:

700

Percent Capacity:

66%

P	R	0	P	F	R	T	V	1	N	F	0	R	M	Δ	т	1	0	N	
F	1	U	г		n				14		U	-	IAI	~			v	14	

Applicant	ROWE Professional Services co (843) 444-1020 (Energov # 046431)	Rezoning Request #	Ord 87-19 2019-08-002
PIN#	32300000013 (Portion)	County Council District #	7 - Bellamy
Site Location Hwy 905 & Padgett Ln in Conway		Staff Recommendation	
		PC Recommendation	
Property Owner	Clearwell LLC	, o noodimionation	
Contact	Olda Well LLO	Size (in acres) of Request	18.8

#### ZONING DISTRICTS

Current Zoning	AG2
Proposed Zoning	SF10
Proposed Use	Residential Subdivision

OCATION INFOR	MATION	ADJACE	NT PROP	ERTIE
Flood and Wetland Information	X	CFA	MHP	MHP
Public Health & Safety (EMS/fire) in miles	3.8 (Fire)	CFA	Subject Property	SF10
Utilities	Public	CFA	SF10	SF10
Character of the Area	Residential			

#### COMMENTS

Comprehensive Plan District: Transtional Growth Area

Overlay/Area Plan: None

**Discussion:** The applicant is requesting to rezone the AG2 portion of parcel for a future residential subdivision. The subject portion was rezoned in 2014 from RH (Resort Housing) to AG2 with a proposed use as an amenity area with horses and a shooting range (Ord. #46-14).

The applicant is requesting to rezone a 18.8 acre portion of a 156.66 acre parcel to add 63 lots resulting in a residential development consisting of 271 single family detached units with a minimum lot size of 10,000 sq. ft. and 51 units with a minimum lot size of 14,500 sq. ft.

As shown, the overall project would have a gross density of 1.9 units/ac. The preliminary wetlands assessment identifies 13.4 acres of wetlands. Within the requested portion, 55 lots are proposed with two points of access and 8 lots are proposed with a single point of access connecting to the existing approved residential subdivision.

The master plan for Lochhaven proposes two points of access to Padgett Lane and one point of shared access onto Hwy 905.

This parcel is designated as Rural Communities and Scenic & Conservation in the IMAGINE 2040 comprehensive plan.

Rezoning request was deemed approvable by the Planning Commission as a result of no Planning Commission hearing. 9/17/16 County Council remanded to Planning Commission for reconsideration.

**Public Comment:** 

#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	0/1664	Existing Road Conditions	County, Paved, Two Lane
Projected Daily Trips based on proposed use / Max Daily Trips based on proposed zoning)	2168/2168	Rd, Station, Traffic AADT (2017) % Road Capacity	SC 905, Station 251 9,000 ADT 60-65%

**Proposed Improvements** 

#### DIMENSIONAL STANDARDS

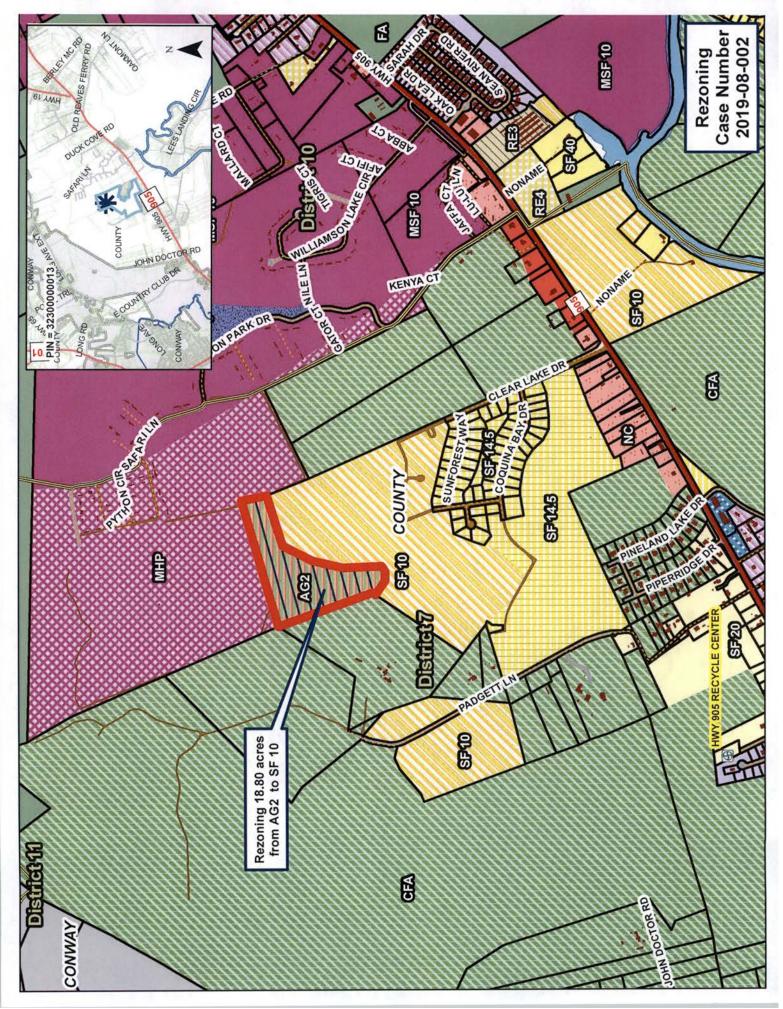
11/1/200	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	SF10	AG2	SF10	CFA (Com/Res)		
Min. Lot Size (in square feet)	10000	21780	10000	43560/21780		
Front Setback	25	10	25	60/25		
Side Setback	10	15	10	25/10		
Rear Setback	15	15	15	40/15		
Bldg. Height	35	35	35	35/35		

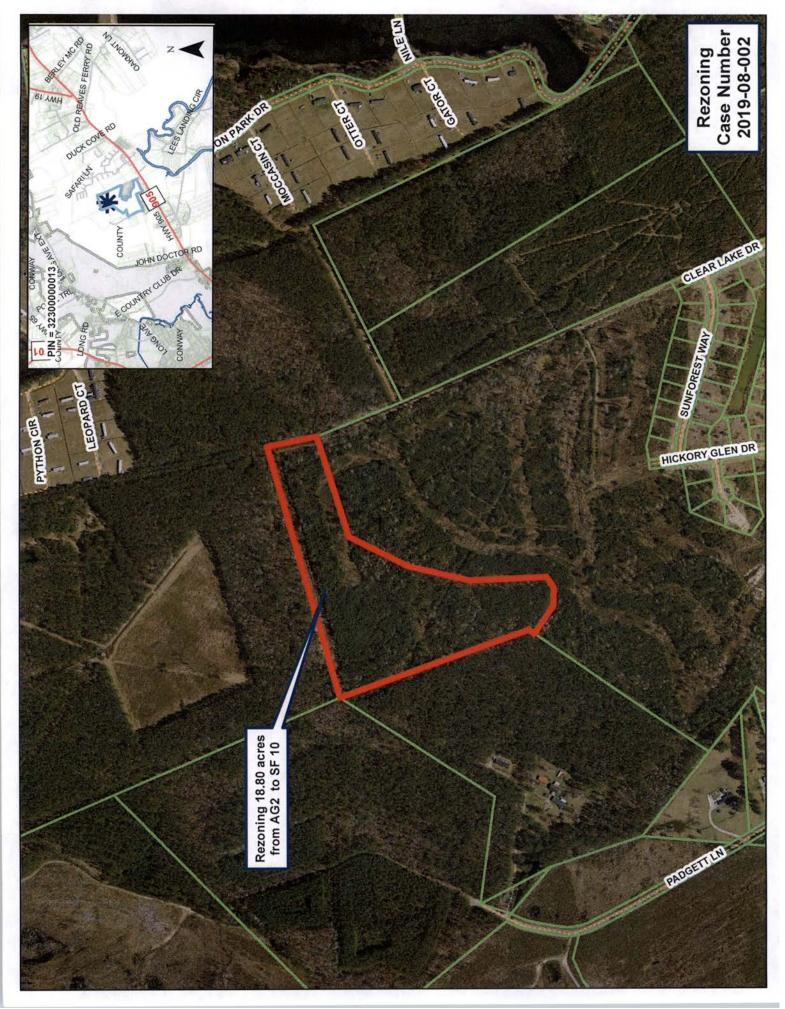
Date Advertised: 8/15/2019 Date Posted: 8/15/2019 # Property Owners Notified: O Date Notification Mailed: 8/15/2019

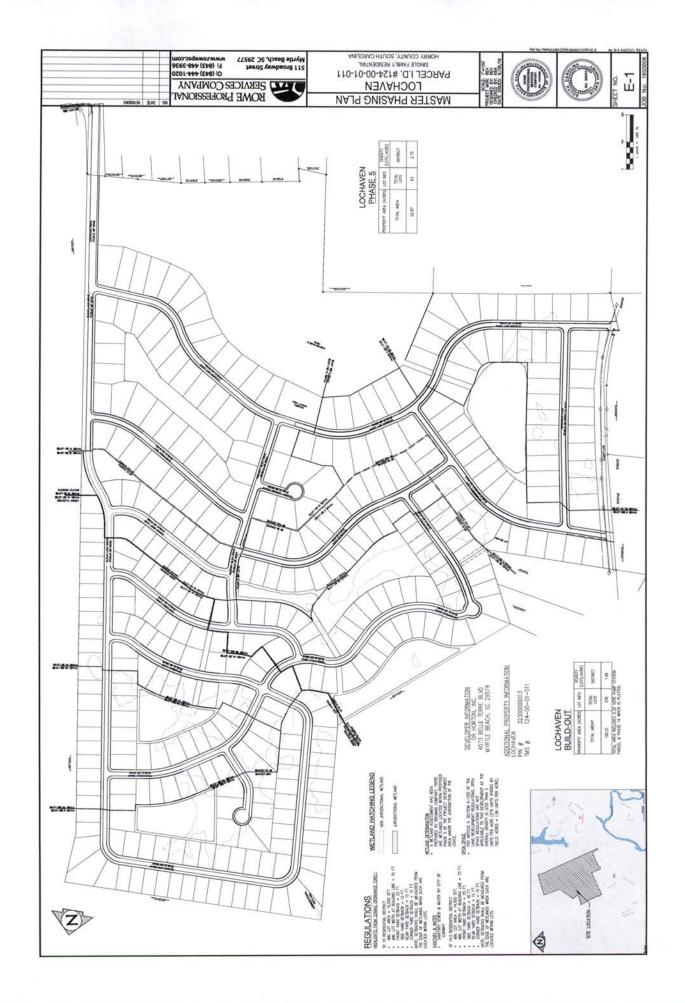
9 Report Date: 8/15/2019

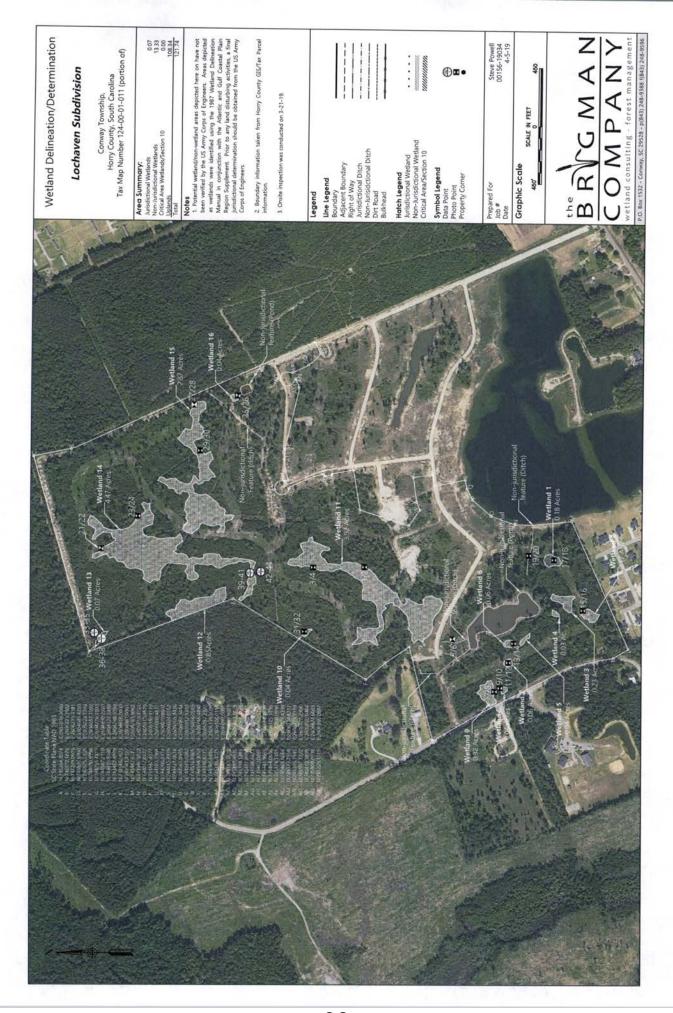
BY

34











## Horry County Subdivision and Rezoning Review Comments

**Public Hearing Date:** 

09/05/2019

Request Number:

2019-08-002

**Request Type:** 

Rezoning PIN #32300000013

Zoning:

AG2 to SF10

School Attendance Zones: Kingston Elementary

**Conway Middle** Conway High

Comments:

**Kingston Elementary:** 

Functional Capacity:

618

2019-2020 Forecast:

442

Percent Capacity:

72%

Conway Middle:

Functional Capacity:

657

2019-2020 Forecast:

682

Percent Capacity:

104%

Conway High:

Functional Capacity:

2095

2019-2020 Forecast:

1296

Percent Capacity:

62%

Applicant	Pamela Timms (843) 333-0563 (Energov # 046486)	Rezoning Request #	Ord 84-19 2019-08-004
PIN#	44008030023	County Council District #	6 - Crawford
Site Location	Intersection of Hwy 544 & Peachtree Rd in Myrtle Beach	Staff Recommendation	
	The second of the second of the market beach	PC Recommendation	
Property Owner	Pamela Timms	PC Recommendation	
Contact		Size (in acres) of Request	1

SF40
MA2
Boat Storage

LOCATION INFOR	RMATION	ADJACE	NT PROP	ERTIES
Flood and Wetland Information	x	SF40	SF40	НС
Public Health & Safety (EMS/fire) in miles	1 (Fire/Medic)	SF40	Subject Property	NC
Utilities	Public	SF40	PDD	PDD
Character of the Area	Residential			

COMMENTS

Comprehensive Plan District: Urban Corridors

Overlay/Area Plan: West Hwy 544 Overlay

Discussion: The applicant is requesting to rezone to allow for boat storage. The MA2 Zoning District allows for industrial and manufacturing uses including outdoor storage. This parcel is located directly across from the Peachtree Road entrance to the Harbor Oaks Marina. A portion of the lot is shown as within the WEST HWY 544 OVERLAY near the Highway Commercial and Neighborhood Commercial zones on HWY 544 between Carolina Bays Parkway/HWY 31 and the Intercoastal Wateway. A 25' landcaped buffer with a screened privacy fence will be required.

This parcel is designated as Suburban in the IMAGINE 2040 comprehensive plan.

Rezoning request was deemed approvable by the Planning Commission as a result of no Planning Commission hearing. 9/17/16 County Council remanded to Planning Commission for reconsideration.

**Public Comment:** 

#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	0/8	Existing Road Conditions	State, Paved, Two Lane
Projected Daily Trips based on proposed	10/200	Rd, Station,	Dick Pond Rd, Station 717
use / Max Daily Trips based on proposed		Traffic AADT (2017)	13,900 ADT
zoning)		% Road Capacity	95-100%

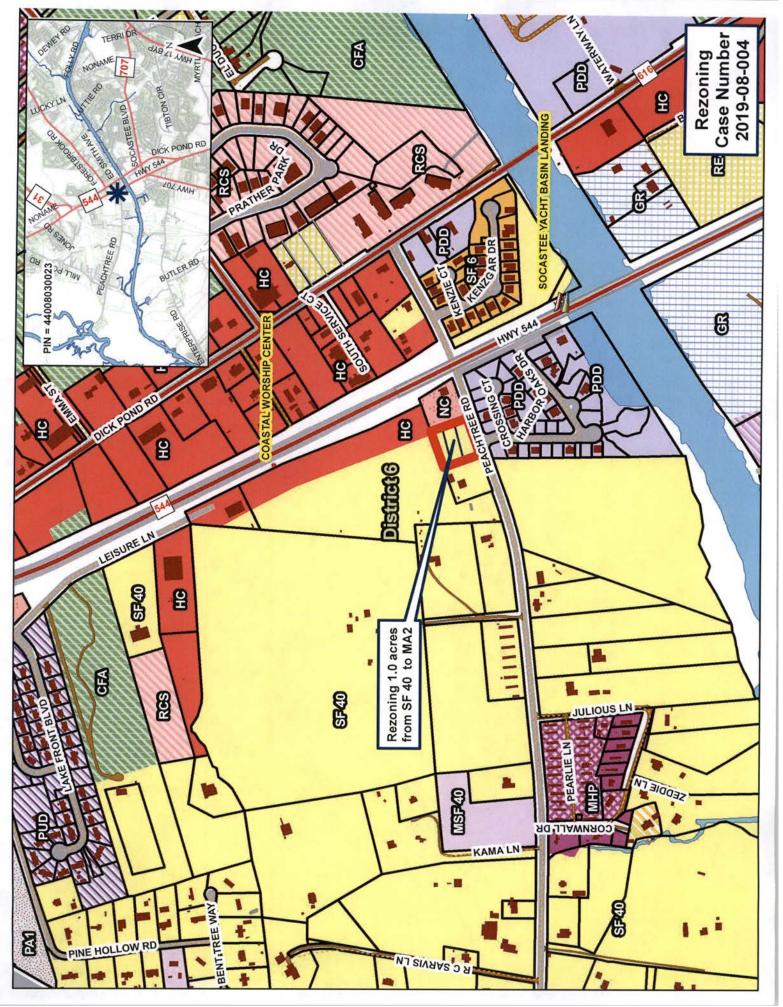
Proposed Improvements

#### DIMENSIONAL STANDARDS

11/10/200	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
And the second	MA2	SF40	SF40	NC	НС	PDD (Harbor Oaks Marina)
Min. Lot Size (in square feet)	21780	40000	40000	10000	10000	4464
Front Setback	50	50	50	25	50	15
Side Setback	25	20	20	10	10	10
Rear Setback	25	30	30	15	15	15
Bldg. Height	75	35	35	35	120	35

Date Notification Mailed: 8/15/2019

Report Date: 8/15/2019 BY







## **HCS Facilities - Planning Department** Horry County Subdivision and Rezoning Review Comments

**Public Hearing Date:** 

09/05/2019

Request Number:

2019-08-004

Request Type:

Rezoning PIN #44008030023

Zoning:

SF40 to MA2

School Attendance Zones: Forestbrook Elementary

Forestbrook Middle

Socastee High

#### **Comments:**

Forestbrook Elementary:

Functional Capacity: 1030 2019-2020 Forecast: 914 Percent Capacity: 89%

Forestbrook Middle:

Functional Capacity: 1086 2019-2020 Forecast: 905 Percent Capacity: 83%

Socastee High:

Functional Capacity: 1757 2019-2020 Forecast: 1477 Percent Capacity: 84%

Applicant	David E Phillips III (919) 625-6763 (Energov # 046491)	Rezoning Request #	Ord 82-19 2019-08-005
PIN#	35707010018	County Council District #	1 - Worley
Site Location	Off Cashmere Ln in North Myrtle Beach	Staff Recommendation	
	On Gasimicio Ett iii Notti Mytte Beach	PC Recommendation	1400
roperty Owner	David E Phillips III	T o Necommendation	تنبشك
Contact		Size (in acres) of Request	1.1

ZONING DISTRICTS **Current Zoning** CFA Proposed Zoning MRD3 Single Family Proposed Use Detached

Flood and Wetland	x	CFA	CFA	CFA
Information	*	0		0.77
Public Health & Safety (EMS/fire) in miles	1.6 (Fire/Medic)	CFA	Subject Property	SF6
Utilities	Public	CFA	CFA	SF6
Character of the Area	Residential			

#### COMMENTS

Comprehensive Plan District: Urban Communities

Overlay/Area Plan: None

Discussion: The applicant is requesting to rezone to create a 6 lot subdivision and the MRD3 Zoning District allows for mixed residential in identified Urban areas. The request proposes the use of an Undeveloped/Un-named 50' Platted Road as shared access to Cashmere Lane which is a County-maintained 50' public right of way. This parcel is located near rezoning requests 2019-07-005 from CFA to SF14.5. Several parcels in the immediate neighborhood were rezoned from CFA to Residential SF6 and SF14.5 and North Myrtle Beach annexation is occurring near the proposed rezoning.

Rezoning request 2019-08-007 shares same acces to Cashmere Lane.

This parcel is designated as Mixed Use in the IMAGINE 2040 comprehensive plan.

Rezoning request was deemed approvable by the Planning Commission as a result of no Planning Commission hearing. 9/17/16 County Council remanded to Planning Commission for reconsideration.

**Public Comment:** 

#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	0/8	Existing Road Conditions	Private, Unimproved
Projected Daily Trips based on proposed use / Max Daily Trips based on proposed zoning)		Rd, Station, Traffic AADT (2017) % Road Capacity	US 17, Station 117 37,700 ADT 60-65%

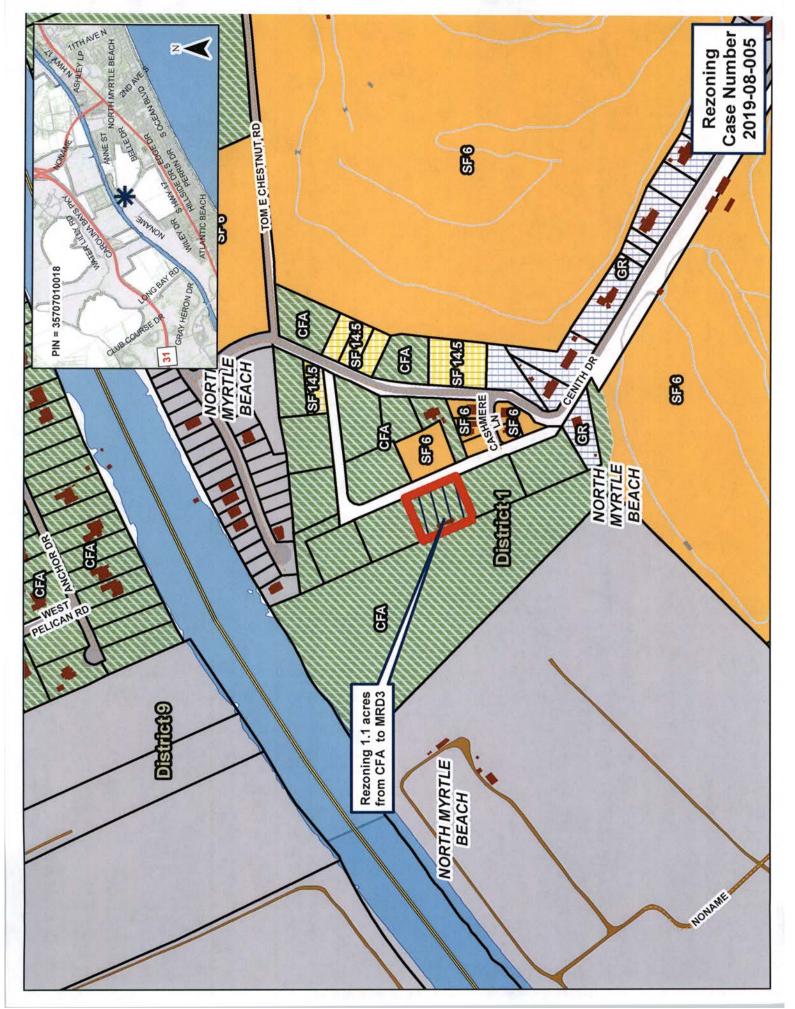
Proposed Improvements

### DIMENSIONAL STANDARDS

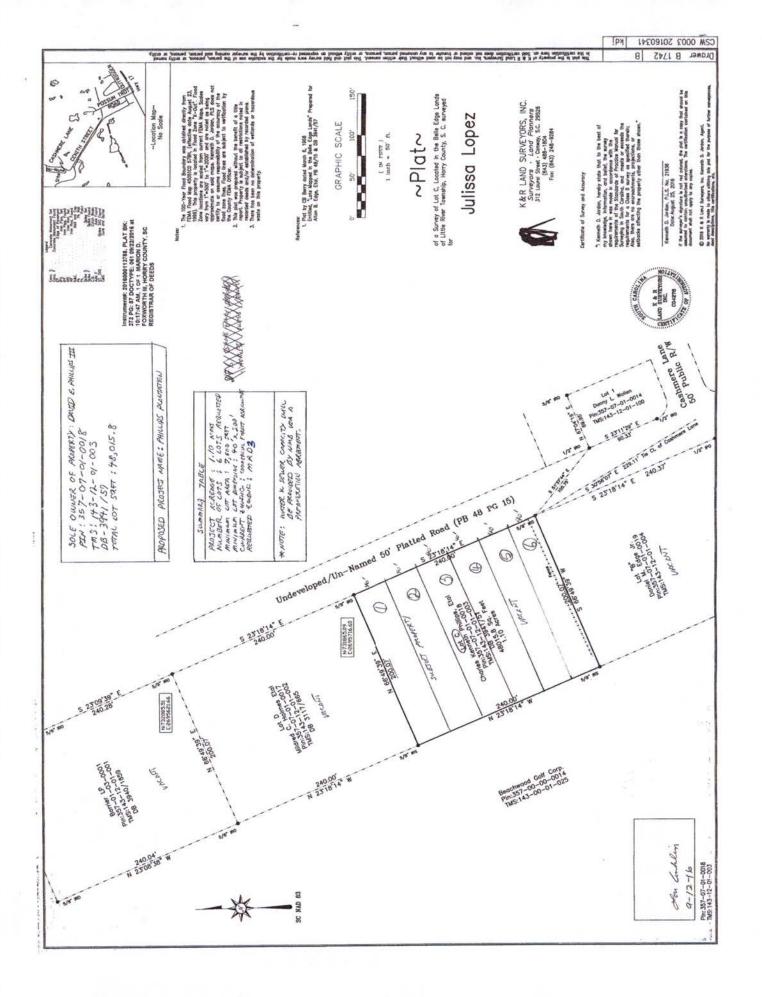
	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	MRD3	CFA (Com/Res)	CFA (Com/Res)	SF6		
Min. Lot Size (in square feet)	6000	43560/21780	43560/21780	6000		Mark .
Front Setback	25	60/25	60/25	25		
Side Setback	10	25/10	25/10	10		
Rear Setback	15	40/15	40/15	15		
Bldg. Height	40	35/35	35/35	35		

Date Notification Mailed: 8/15/2019

Report Date: 8/15/2019 BY









## Horry County Subdivision and Rezoning Review Comments

**Public Hearing Date:** 

09/05/2019

**Request Number:** 

2019-08-005

Request Type:

Rezoning PIN #35707010018

Zoning:

CFA to MRD3

School Attendance Zones: Ocean Drive Elementary

North Myrtle Beach Middle North Myrtle Beach High

#### **Comments:**

Ocean Drive Elementary:

Functional Capacity: 892 2018-2019 Forecast: 898 Percent Capacity: 101%

## North Myrtle Beach Middle:

Functional Capacity: 1212 2019-2020 Forecast: 1174 Percent Capacity: 97%

## North Myrtle Beach High:

Functional Capacity: 1464 2019-2020 Forecast: 1217 Percent Capacity: 83%

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Applicant	David E Phillips III (919) 625-6763 (Energov # 046522)	Rezoning Request #	Ord 83-19 2019-08-007
PIN#	35707010020	County Council District #	1 – Worley
Site Location	Off Cashmere Ln in North Myrtle Beach	Staff Recommendation	14.77
	On Oddimete Erim Notif mytte Beden	PC Recommendation	
Property Owner	Kimberly Ann Green	- To recommendation	
Contact		Size (in acres) of Request	1.25

Current Zoning	CFA
Proposed Zoning	MRD3
Proposed Use	Single Family Detached

LOCATION INFOR	MATION	ADJACE	NT PROP	ERTIES
Flood and Wetland Information	x	CFA	CFA	SF6
Public Health & Safety (EMS/fire) in miles	1.6 (Fire/Medic)	CFA	Subject Property	SF6
Utilities	Public	CFA	GR	GR
Character of the Area	Residential			

#### COMMENTS

Comprehensive Plan District: Urban Communities

Overlay/Area Plan: None

Discussion: The applicant is requesting to rezone to create a 6 lot residential subdivision and the MRD3 Zoning District allows for mixed residential in identified Urban areas. The request proposes the use of an Undeveloped/Un-named 50' Platted Road as shared access to Cashmere Lane which is a County-maintained 50' public right of way. This parcel is located near rezoning requests 2019-07-005 from CFA to SF14.5. Several parcels in the immediate neighborhood were rezoned from CFA to Residential SF6 and SF14.5 and North Myrtle Beach annexation is occurring near the proposed rezoning.

Rezoning request 2019-08-005 shares same access to Cashmere Lane.

This parcel is designated as Mixed Use in the IMAGINE 2040 comprehensive plan.

Rezoning request was deemed approvable by the Planning Commission as a result of no Planning Commission hearing. 9/17/16 County Council remanded to Planning Commission for reconsideration.

**Public Comment:** 

#### TRANSPORTATION INFORMATION

Daily Trips based on existing use Max Daily Trips based on current zoning	0/8	Existing Road Conditions	Private, Unimproved
Projected Daily Trips based on proposed use / Max Daily Trips based on proposed zoning)		Rd, Station, Traffic AADT (2017) % Road Capacity	US 17, Station 117 37,700 ADT 60-65 %

Proposed Improvements

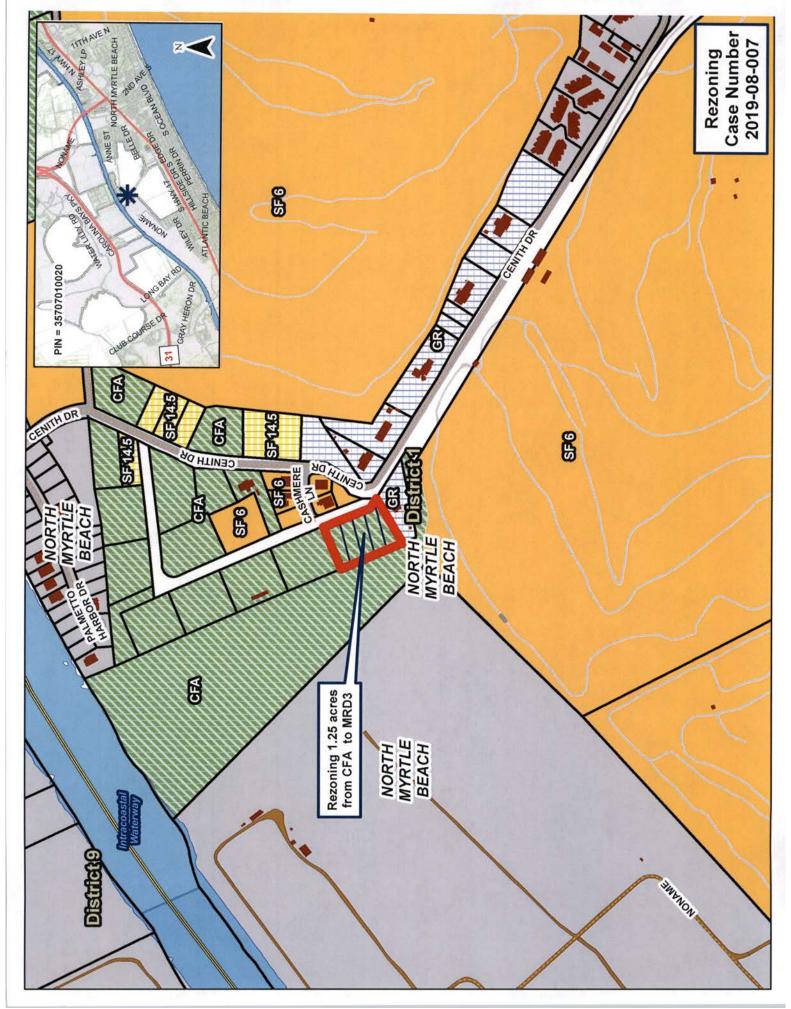
#### DIMENSIONAL STANDARDS

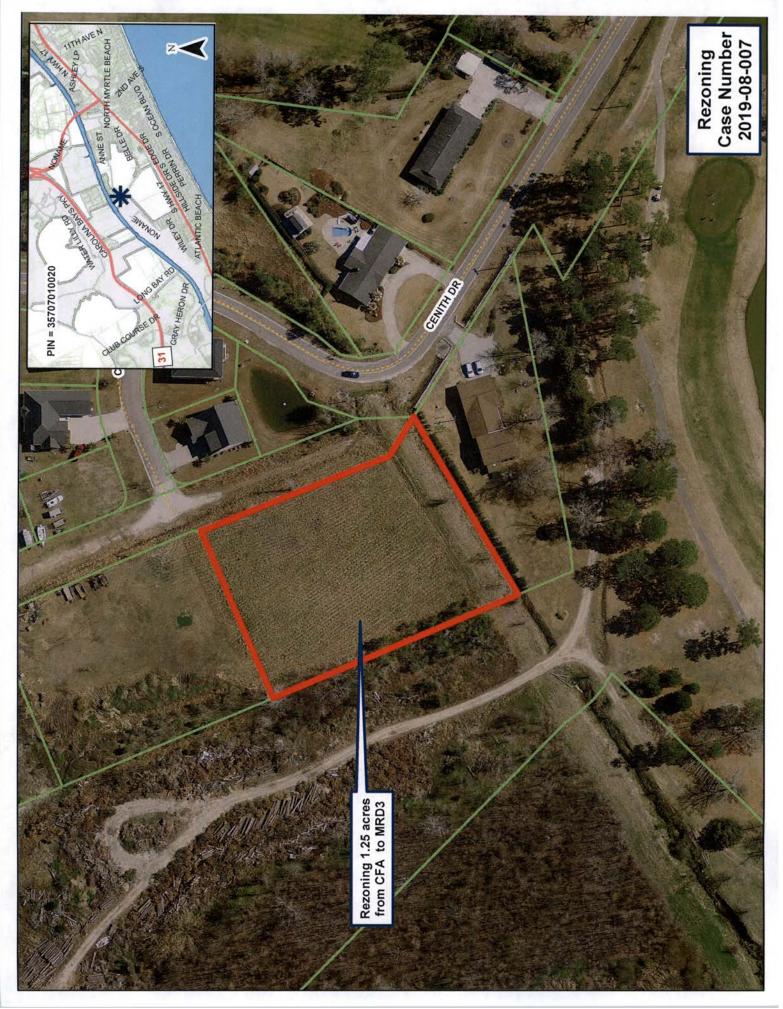
11188000	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	MRD3	CFA (Com/Res)	CFA (Com/Res)	SF6	GR	
Min. Lot Size (in square feet)	6000	43560/21780	43560/21780	6000	6000	
Front Setback	25	60/25	60/25	25	20	
Side Setback	10	25/10	25/10	10	10	
Rear Setback	15	40/15	40/15	15	15	
Bldg. Height	40	35/35	35/35	35	35	

O Date Notification Mailed: 8/15/2019

Report Date: 8/15/2019

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## Horry County Subdivision and Rezoning Review Comments

**Public Hearing Date:** 

09/05/2019

Request Number:

2019-08-007

**Request Type:** 

Rezoning PIN #35707010020

Zoning:

CFA to MRD3

School Attendance Zones:

Ocean Drive Elementary

North Myrtle Beach Middle North Myrtle Beach High

### **Comments:**

Ocean Drive Elementary:

Functional Capacity: 892 2018-2019 Forecast: 898 Percent Capacity: 101%

North Myrtle Beach Middle:

Functional Capacity: 1212 2019-2020 Forecast: 1174 Percent Capacity: 97%

North Myrtle Beach High:

Functional Capacity: 1464 2019-2020 Forecast: 1217 Percent Capacity: 83%

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P	R	0	P	E	R	T	Y	1	N	F	0	R	M	A	T	I	0	N

Applicant	Venture Engineering (843) 347-5851 (Energov # 046510)	Rezoning Request #	Ord 88-19 2019-08-006
PIN#	40113040006	040006 County Council District	
Site Location	Hwy 544 & Linda Drive in Conway	Staff Recommendation	
	Tiwy 544 & Linda Dilve III Collway	PC Recommendation	
Property Owner	Horry Furniture Company	P G Recommendation	
Contact	Trony i dilitare company	Size (in acres) of Request	.72

PDD
RE4
Plumbing Business

LOCATION INFOR	RMATION	ADJACE	NT PROP	ERTIES
Flood and Wetland Information	x	SF10	нс	НС
Public Health & Safety (EMS/fire) in miles	1.4 (Fire/Medic)	SF10	Subject Property	НС
Utilities	Public	SF10	нс	НС
Character of the Area	Residential & Cor	mmercial		LT I

#### COMMENTS

Comprehensive Plan District: Urban Corridors

Overlay/Area Plan: West Hwy 544 Overlay

Discussion: The applicant is requesting to rezone to allow for a plumbing company business at the site of an existing commercial distribution warehouse. The parcel is shown as within the WEST HWY 544 OVERLAY and has direct access onto HWY 544 and Linda Drive. The RE4 High Bulk Retail Zoning District allows for outdoor storage.

Previous rezoning 2009-06-001 (Ord. #64-09) from HC (Highway Commercial) to PDD for warehouse and distribution to support a bakery.

This parcel is designated as Suburban in the IMAGINE 2040 comprehensive plan.

Rezoning request was deemed approvable by the Planning Commission as a result of no Planning Commission hearing. 9/17/16 County Council remanded to Planning Commission for reconsideration.

**Public Comment:** 

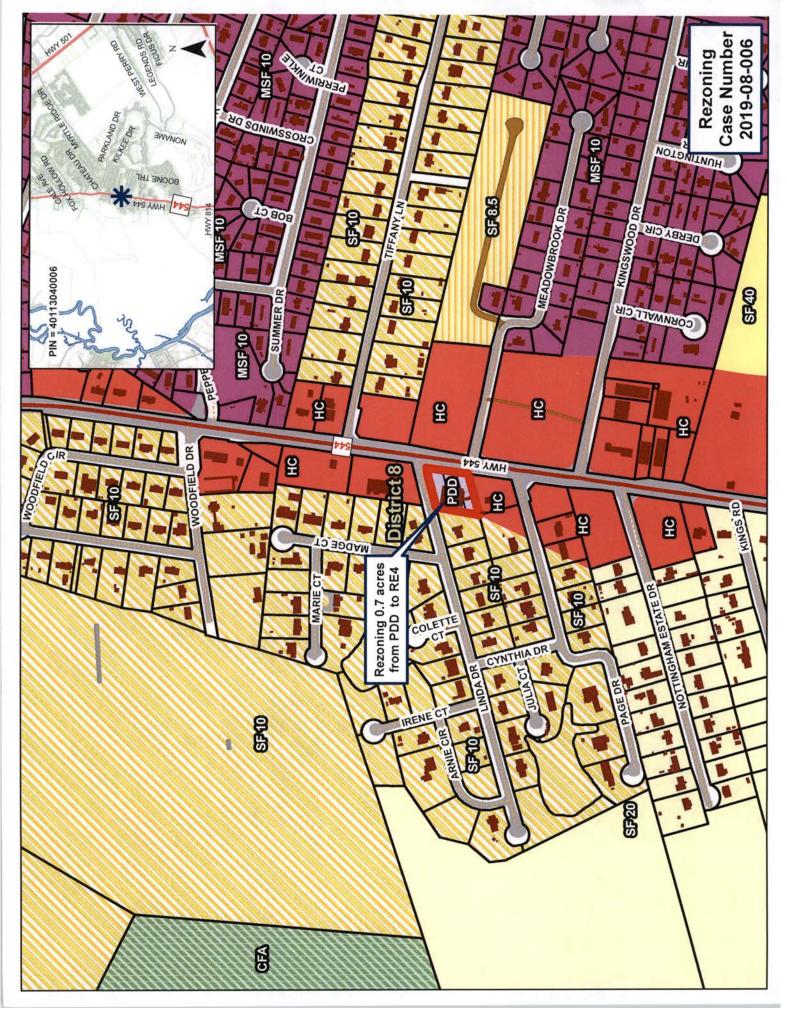
#### TRANSPORTATION INFORMATION

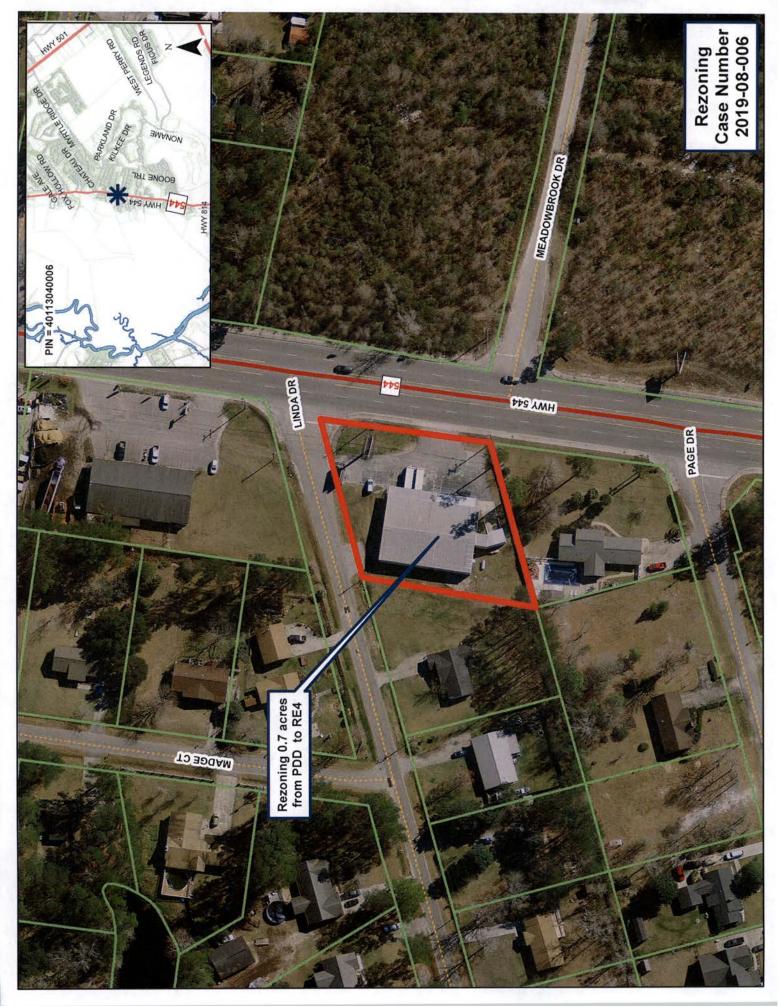
Daily Trips based on existing use / Max Daily Trips based on current zoning	50/250	Existing Road Conditions	State, Paved, Four Lane	
Projected Daily Trips based on proposed use / Max Daily Trips based on proposed zoning)	100/500	Rd, Station, Traffic AADT (2017) % Road Capacity	SC 544, Station 241 34,600 ADT 85-90%	

Proposed Improvements

#### DIMENSIONAL STANDARDS

11/11/2000	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	RE4	PDD	НС	SF10		
Min. Lot Size (in square feet)	21780	NA	10000	10000		
Front Setback	60	50	50	25		
Side Setback	10	15	10	10		
Rear Setback	15	15	15	15		
Bldg. Height	36	25	120	35		







## Horry County Subdivision and Rezoning Review Comments

**Public Hearing Date:** 

09/05/2019

**Request Number:** 

2019-08-006

Request Type:

Rezoning PIN #40113040006

Zoning:

PDD to RE4

School Attendance Zones: Palmetto Bays Elementary

**Black Water Middle** Carolina Forest High

### **Comments:**

Palmetto Bays Elementary:

Functional Capacity: 685 589 2019-2020 Forecast: Percent Capacity: 86%

Black Water Middle:

Functional Capacity: 833 2019-2020 Forecast: 694 Percent Capacity: 83%

Carolina Forest High:

Functional Capacity: 2388 2019-2020 Forecast: 2131 Percent Capacity: 89%

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Rezoning Request # 2019-08-003 Ed Hardee (843) 254-7652 (Energov # 046448) County Council District # 11 - Allen PIN# 33010030002 Staff Recommendation

Site Location 8856 Pee Dee Hwy in Conway

**Property Owner** Palmetto Synergistic Research LLC Contact

PC Recommendation Size (in acres) of Request 5.96

ZONING DISTRICTS

Current Zoning FA Proposed Zoning MA1 Proposed Use | Agricultural Processing

PROPERTY INFORMATION

LOCATION INFOR	MATION	ADJACE	ENT PROP	ERTIES
Flood and Wetland Information	x	FA	FA	FA
Public Health & Safety (EMS/fire) in miles	2 (Fire/Medic)	FA	Subject Property	FA
Utilities	Public	FA	FA	FA
Character of the Area	Residential and	Agricultural		

#### COMMENTS

Comprehensive Plan District: Rural Area

Overlay/Area Plan: None

Discussion: The applicant is requesting to rezone 5.96 acres from FA to MA1 to allow for agriculture-related processing. A 20' landscaped buffer will be required and access will need to be provided via an improved, platted 50' private access easement.

This parcel is designated as Rural in the IMAGINE 2040 comprehensive plan.

**Public Comment:** 

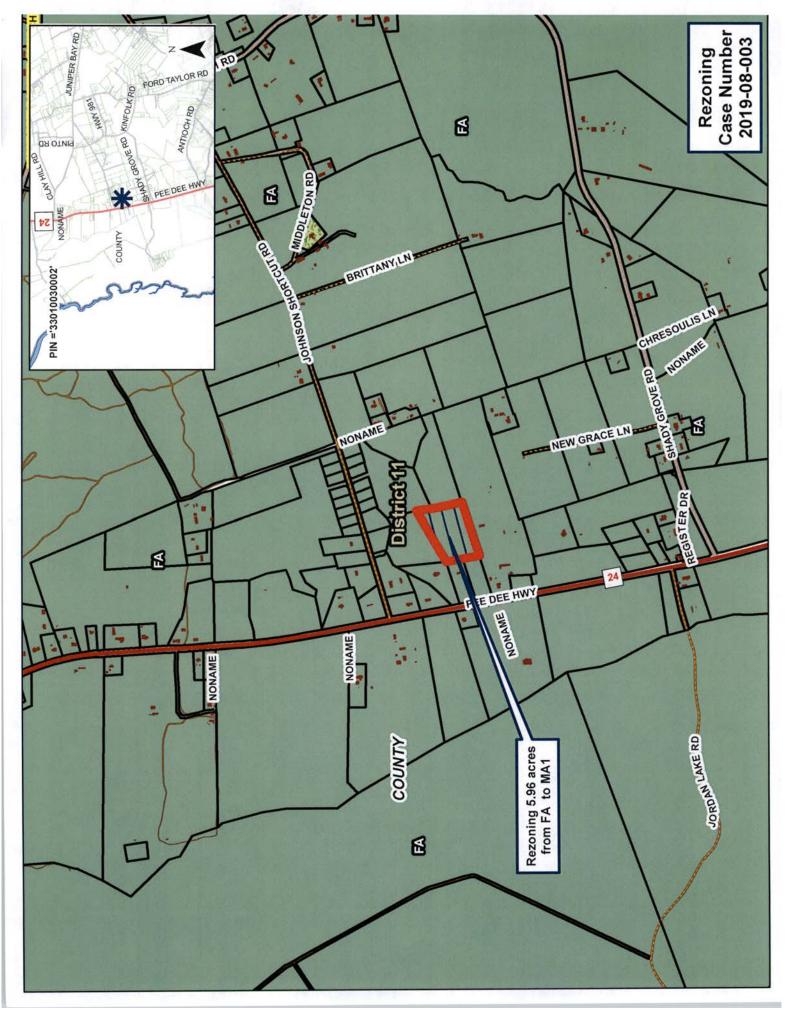
#### TRANSPORTATION INFORMATION

Daily Trips based on existing use State, Paved, Two Lane **Existing Road Conditions** / Max Daily Trips based on current zoning S-24, Station 352 Rd, Station, Projected Daily Trips based on proposed Traffic AADT (2017) 1,750 ADT use / Max Daily Trips based on proposed 10/150 % Road Capacity 10-15% zoning)

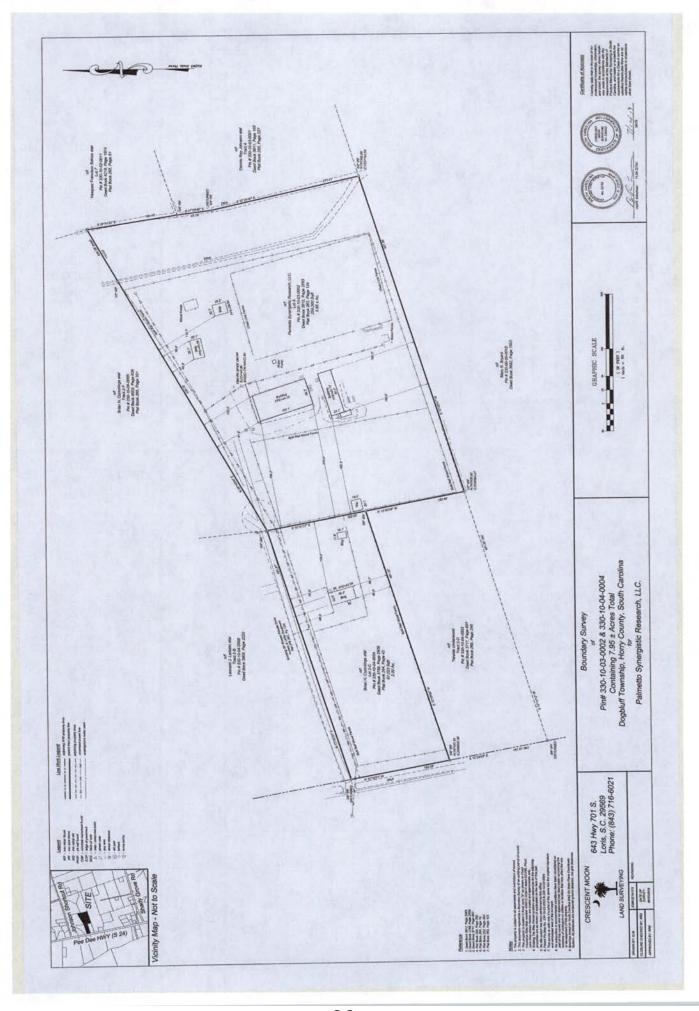
Proposed Improvements

#### DIMENSIONAL STANDARDS

Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
MA1	FA	FA			
21780	43560/21780	43560/21780			
50	60/25	60/25			
25	25/10	25/10			
25	40/15	40/15			
60	35/35	35/35			
	MA1 21780 50 25 25	MA1 FA 21780 43560/21780 50 60/25 25 25/10 25 40/15	MA1 FA FA  21780 43560/21780 43560/21780  50 60/25 60/25  25 25/10 25/10  25 40/15 40/15	MA1 FA FA  21780 43560/21780 43560/21780  50 60/25 60/25  25 25/10 25/10  25 40/15 40/15	MA1     FA     FA       21780     43560/21780     43560/21780       50     60/25     60/25       25     25/10     25/10       25     40/15     40/15









## Horry County Subdivision and Rezoning Review Comments

**Public Hearing Date:** 

09/05/2019

**Request Number:** 

2019-08-003

**Request Type:** 

Rezoning PIN #33010030002

Zoning:

FA to MA1

School Attendance Zones: Pee Dee Elementary

Whittemore Park Middle

Conway High

### Comments:

Pee Dee Elementary:

Functional Capacity: 827 2019-2020 Forecast: 797 Percent Capacity: 96%

## Whittemore Park Middle:

Functional Capacity: 884 2019-2020 Forecast: 785 Percent Capacity: 89%

## Conway High:

Functional Capacity: 2095 2019-2020 Forecast: 1296 62% Percent Capacity:

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Rezoning Request #	Ord. 85-19 2019-09-00
nty Council District #	7 - Bellamy
aff Recommendation	
PC Recommendation	
in acres) of Request	1.03
CFA CFA	CFA
CFA Subject Property	CFA
CFA CFA	CFA
ial	
Current use of the propses with outdoor storaged approximately 1 miles	e.

Applicant	Sandy Schumacher (843) 504-0913 (Energov # 046633)	Rezoning Request #	Ord. 85-19 2019-09-001
PIN#	29312030001	County Council District #	7 - Bellamy
Site Location	2429 Wise Rd in Conway	Staff Recommendation	
0.10 2004.1011	2425 Wise Nu III Collway	PC Recommendation	
Property Owner	S & H Investments Group LLC	To Recommendation	
Contact		Size (in acres) of Request	1.03

Current Zoning	CFA
roposed Zoning	MA2
Proposed Use	Light manufacturing

PROPERTY INFORMATION

LOCATION INFOR	RMATION	ADJACE	NT PROP	ERTIES
Flood and Wetland Information	х	CFA	CFA	CFA
Public Health & Safety (EMS/fire) in miles	4.4 (Fire)	CFA	Subject Property	CFA
Utilities	Public	CFA	CFA	CFA
Character of the Area	Residential & C	ommercial		

#### COMMENTS

Comprehensive Plan District: Urban Corridor

Overlay/Area Plan: None

**Discussion:** The applicant is requesting to rezone 1.03 acres from CFA to MA2 for light manufacturing. Current use of the property is storage and office space. The requested zoning district, MA2- General Manufacturing and Industrial, allows for uses with outdoor storage.

This parcel is designated as Rural Communities in the IMAGINE 2040 comprehensive plan and is located approximately 1 mile north of the Homewood Economic Activity Center identified near the intersection of US 701 and HWY 319.

**Public Comment:** 

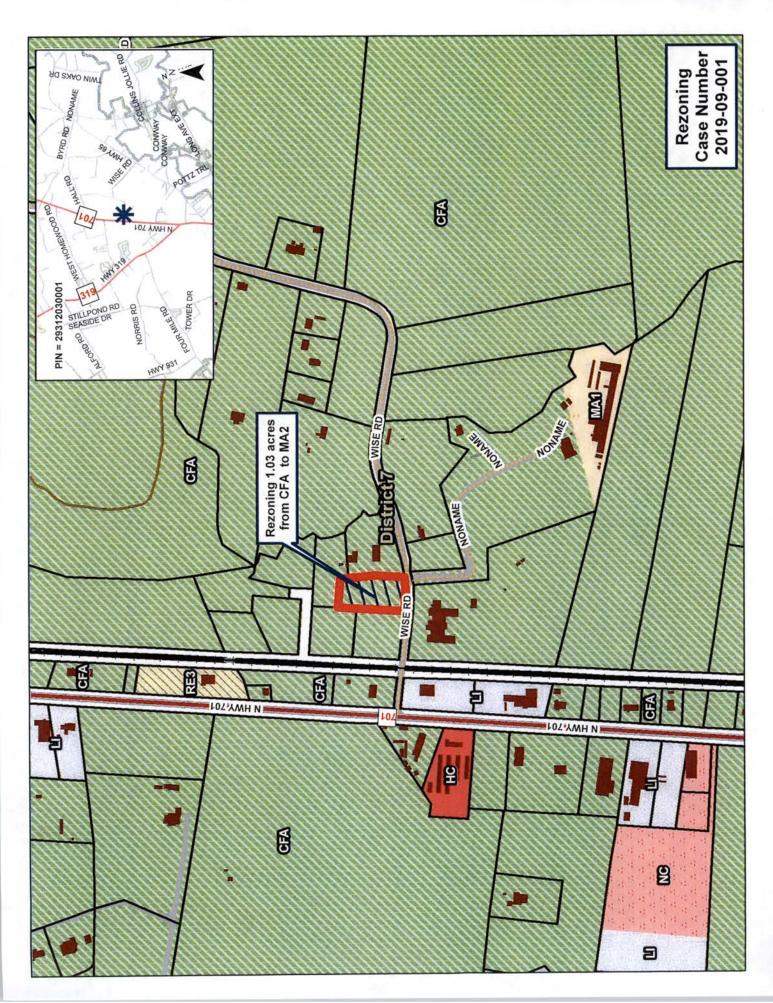
#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	50 / 800	Existing Road Conditions	County, Paved, Two-Lane
Projected Daily Trips based on proposed	100 / 500	Rd, Station,	US 701, Station 187
use / Max Daily Trips based on proposed		Traffic AADT (2018)	12,500 AADT
zoning)		% Road Capacity	85% - 80%

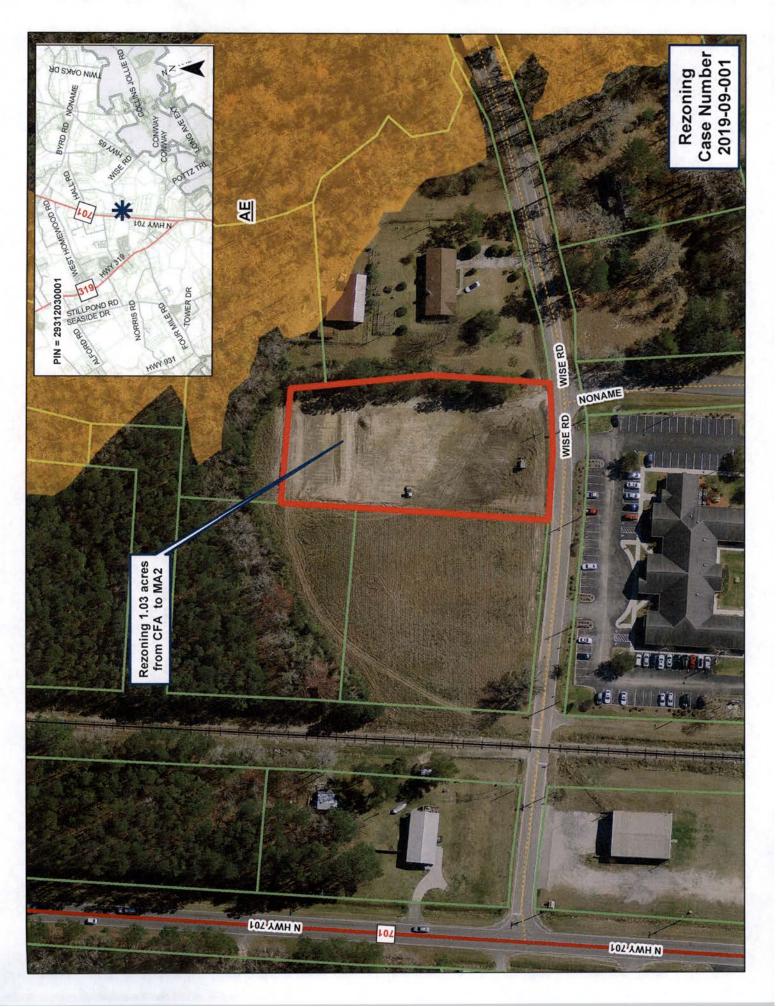
Proposed Improvements

#### DIMENSIONAL STANDARDS

11/12/200	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
70m	MA2	CFA (Com/Res)	CFA (Com/Res)			
Min. Lot Size (in square feet)	21780	43560/21780	43560/21780			
Front Setback	50	60/25	60/25			
Side Setback	25	25/10	25/10			
Rear Setback	25	40/15	40/15			
Bldg. Height	75	35/35	35/35			







		THE INDEPENDENT OF
DODEDTY	LNEODMATION	

Applicant ROWE Professional Services Co (843) 444-1020 (Energov # 046638		Rezoning Request #	2019-09-002
PIN#	37800000025, 37800000026 (Portion), 37809020012	County Council District #	11 – Allen
Site Location Cates Bay Hwy & Browns Way Shortcut Rd in Conway	Cates Ray Hun & Browns Way Shortcut Rd in Conway	Staff Recommendation	
	Cates bay Tilly & Browns Way Official No. In Collway	PC Recommendation	
roperty Owner	Vivian C Brown & Charles A Brown	r o recommendation	
Contact	THE STATE OF THE S	Size (in acres) of Request	21.22

ZONING DIS	STRICTS	LOCATION INFOR	RMATION	ADJACI	ENT PROP	ERTIES
Current Zoning	FA	Flood and Wetland Information	X & A	FA	FA	SF40
Proposed Zoning	MRD1	Public Health & Safety (EMS/fire) in miles	1.25 (Fire)	FA	Subject Property	FA
Proposed Use Residential Subdivision	Utilities	Public	FA	FA	FA	
	Character of the Area	Residential				

## COMMENTS

Comprehensive Plan District: Rural Area Overlay/Area Plan: None

Discussion: The applicant is requesting to amend the existing MRD1 (Ord. 101-18 Cates Bay D&L) by adding a 0.52 acre parcel to Phase 1 and 20.70 acre portion of a parcel to create Phase 3 of the proposed Harvest Ridge Subdivision. Phase 1 of the subdivision will include two points of access onto Cates Bay Hwy, one of which is through the 0.52 acre parcel proposed for rezoning. Phase 3 of the subdivision will add 65 lots with one point of connection to Phase 2 and one point of access to Browns Way Shortcut Rd. As proposed the MRD will consist of 212 units on 77.23 acres with a gross density of 2.74 units/acre and a net density of 3.0 units/acre. The project will incorporate three sustainable development criteria; sidewalks, community gardens, and increased active open space.

The original rezoning request included a total of 152 lots.

The subject parcels are designated as Rural and Scenic & Conservation in the IMAGINE 2040 comprehensive plan.

**Public Comment:** 

#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	0/300	Existing Road Conditions	State, Paved, Two Lane
Projected Daily Trips based on proposed use / Max Daily Trips based on proposed zoning)		Rd, Station, Traffic AADT (2018) % Road Capacity	S-135, Station 487 1,750 AADT 15% - 20%

**Proposed Improvements** 

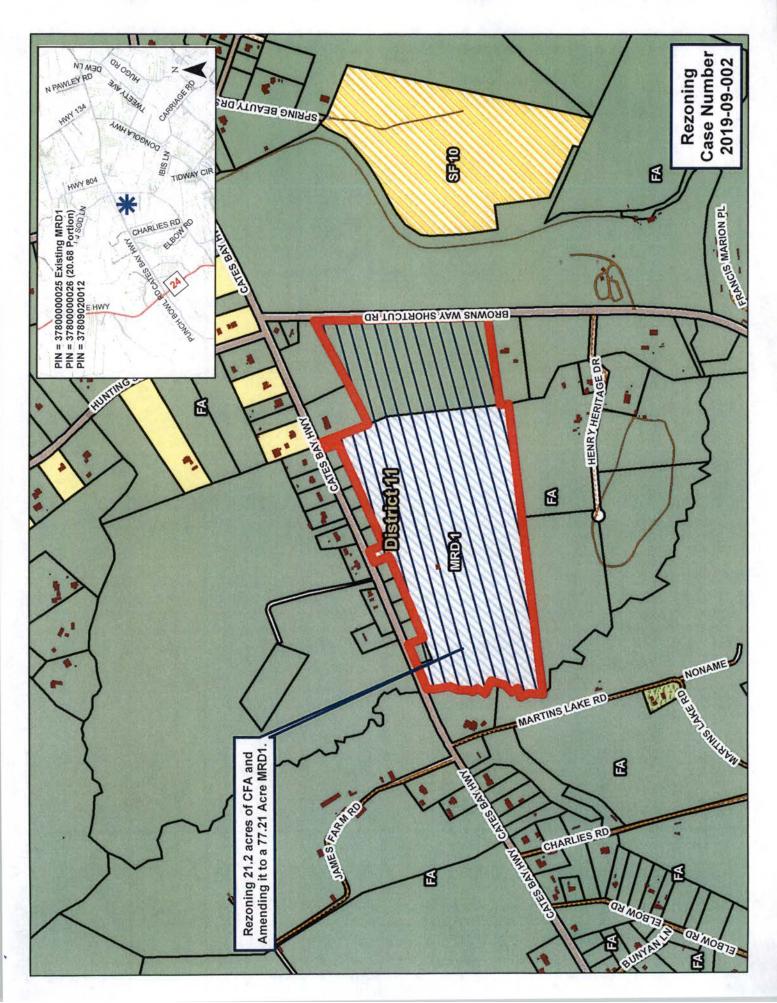
### DIMENSIONAL STANDARDS

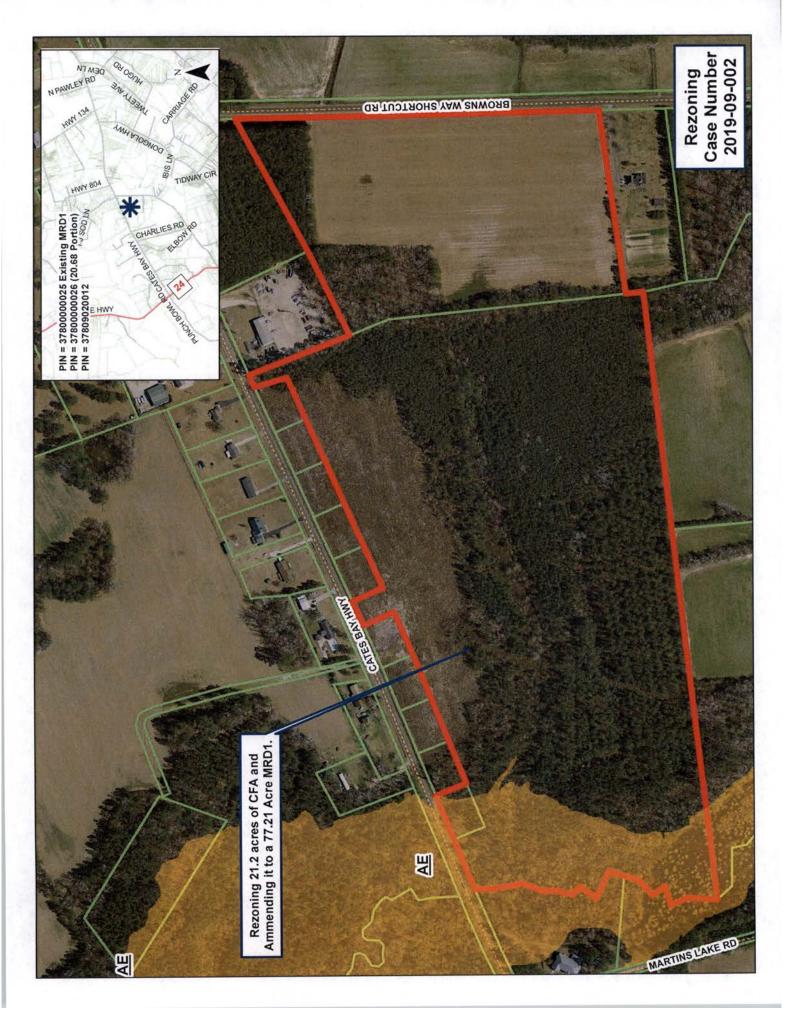
11/12/200	Requested	Current	Current	Adjacent	Adjacent	Adjacent
	MRD1	FA (Com/Res)	MRD1	FA (Com/Res)	SF40	
Min. Lot Size (in square feet)	7,000	43560/21780	7,000	43560/21780	40000	
Front Setback	15	60/25	15	60/25	50	
Side Setback	5	25/10	5	25/10	20	
Rear Setback	10	40/15	10	40/15	30	
Bldg. Height	40	35/35	40	35/35	35	

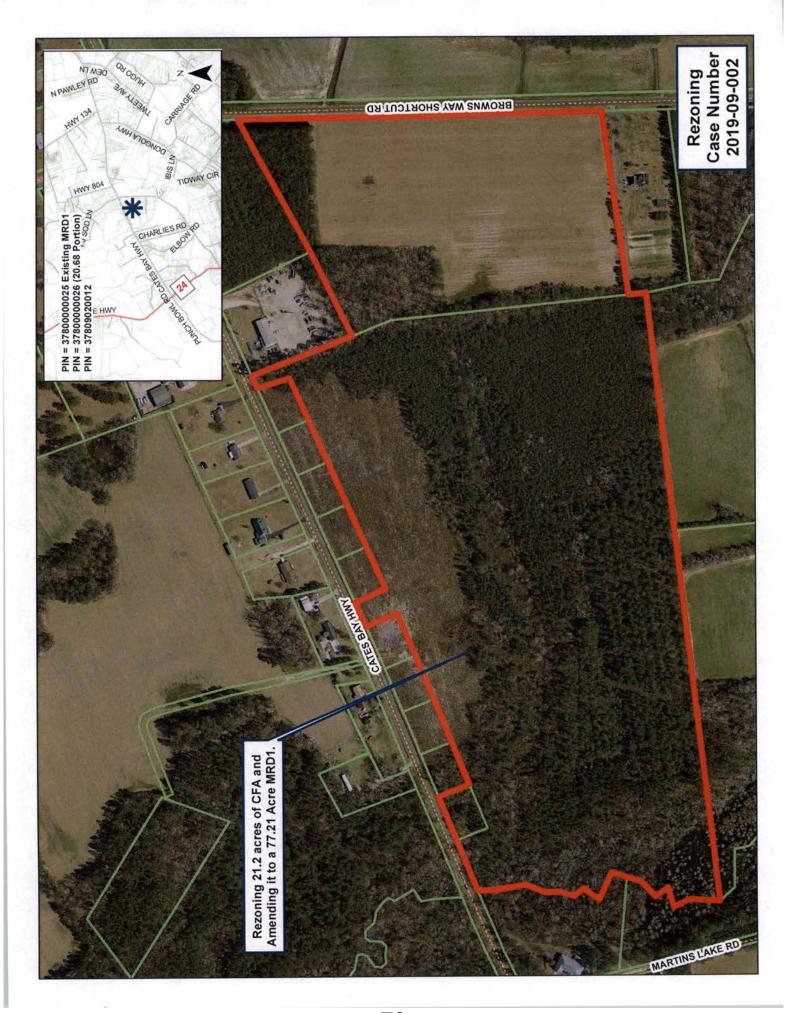
Date Notification Mailed: 9/12/2019

Report Date: 9/12/2019

BY ms









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	Date Advertised: 9/12/2019
S	Date Posted: 9/12/2019
al	Date Advertised: 9/12/2019 Date Posted: 9/12/2019 # Property Owners Notified: 19
	19 Date Notification Mailed:
	failed: 9/12/2019

# PROPERTY INFORMATION

Applicant	ROWE Professional Services Co (843) 458-4404 (Energov # 046675)	Rezoning Request #	2019-09-003
PIN#	42913030003	County Council District #	6 - Crawford
Site Location	War Child Walls Barrie	Staff Recommendation	
Site Location	Monroe Cir in Myrtle Beach	PC Recommendation	
Property Owner	Omero Loredo Ibanez	T o recommendation	
Contact	Officio Edicado Idanica	Size (in acres) of Request	.8

## ZONING DISTRICTS

SF20
SF14.5
Single Family Detached

LOCATION INFORMATION	ADJACENT PROPER		
Flood and Wetland Information	SF20	SF20	SF20
		O bloom	1

2.54 (Fire/Medic)	SF20	Subject Property	DOT
Public	SF20	SF20	SF20
	2.54 (Fire/Medic)	2.54 (Fire/Medic) SF20	2.54 (Fire/Medic) SF20 Subject Property

Character of the Area Residential

#### COMMENTS

Comprehensive Plan District: Urban Communities

Overlay/Area Plan: None

Discussion: The applicant is requesting to rezone the parcel to subdivide for two single family lots. Property is proposed to be split perpendicular to Monroe Circle, a 50' Public ROW. The property contains a public road easement for Appaloosa Drive and a 10' reserved cana (DB 556-592). The subject parcel is located in a residential neighborhood off Hwy 544 and is adjacent to SCDOT ROW for Carolina Bays Parkway. Residential subdivisions zoned as SF10 and MSF10 are located in the area along with an undeveloped PDD, "Smith Wood Farms" approved with a minimum lot size of 8,000 sqft.

This parcel is designated as Suburban in the IMAGINE 2040 comprehensive plan.

**Public Comment:** 

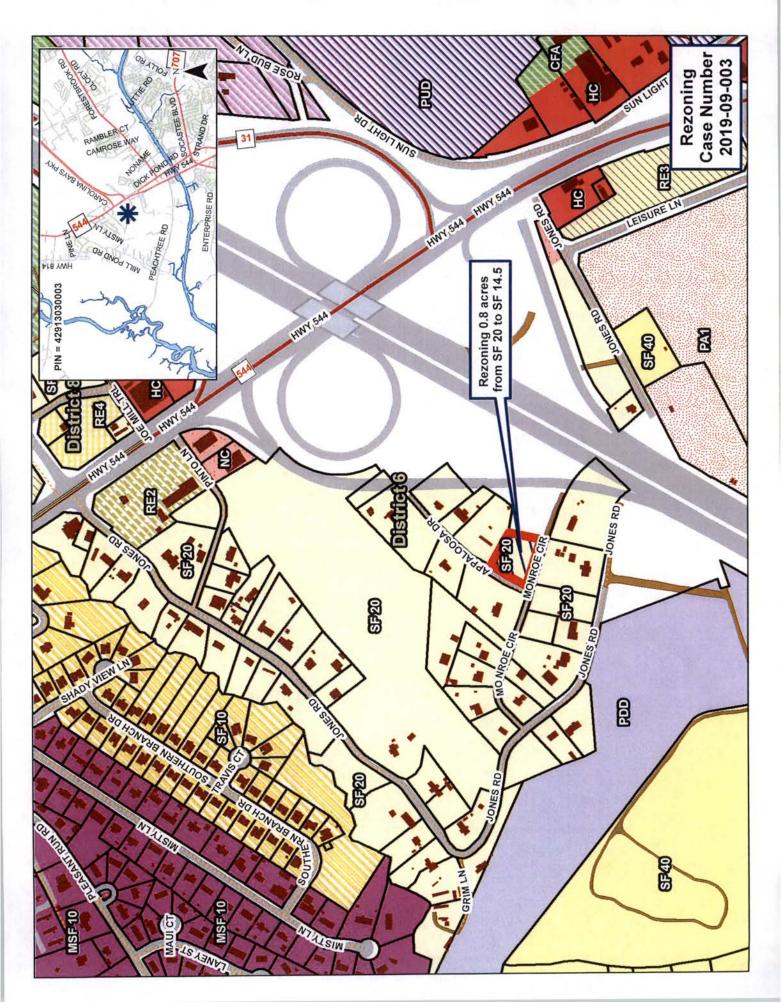
#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	0/8	Existing Road Conditions	County, Paved, Two Lane
Projected Daily Trips based on proposed use / Max Daily Trips based on proposed zoning)	16 /16	Rd, Station, Traffic AADT (2018) % Road Capacity	SC 544, Station 244 31,600 AADT 90% -95%

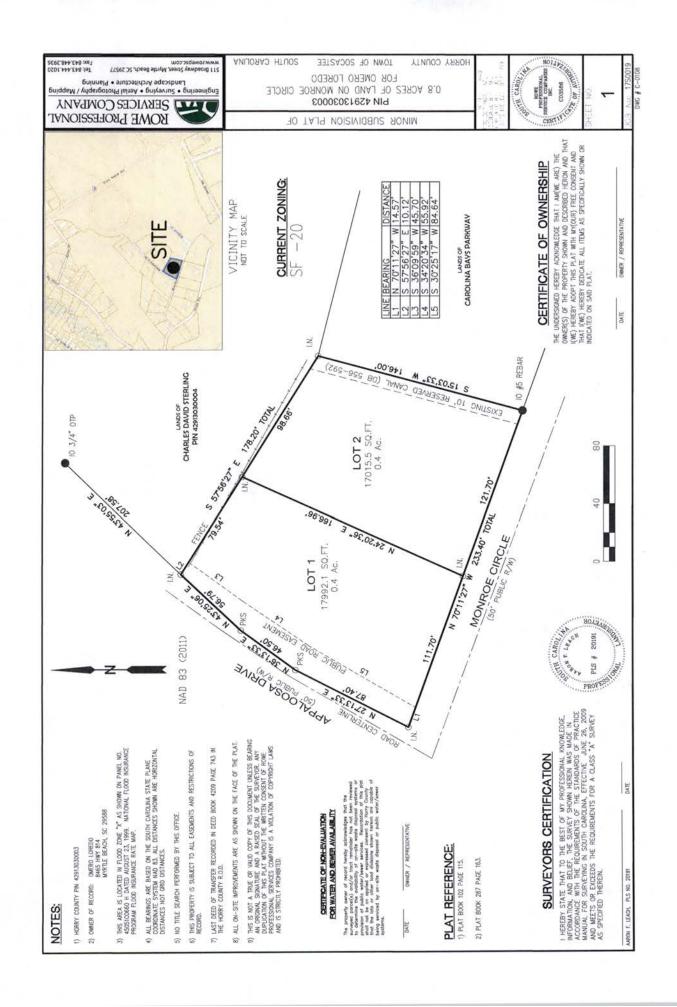
Proposed Improvements

# DIMENSIONAL STANDARDS

1/1/200	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	SF14.5	SF20	SF20			
Min. Lot Size (in square feet)	14,500	20,000	20,000			
Front Setback	25	40	40			
Side Setback	10	15	15			
Rear Setback	15	25	25			
Bldg. Height	35	35	35			





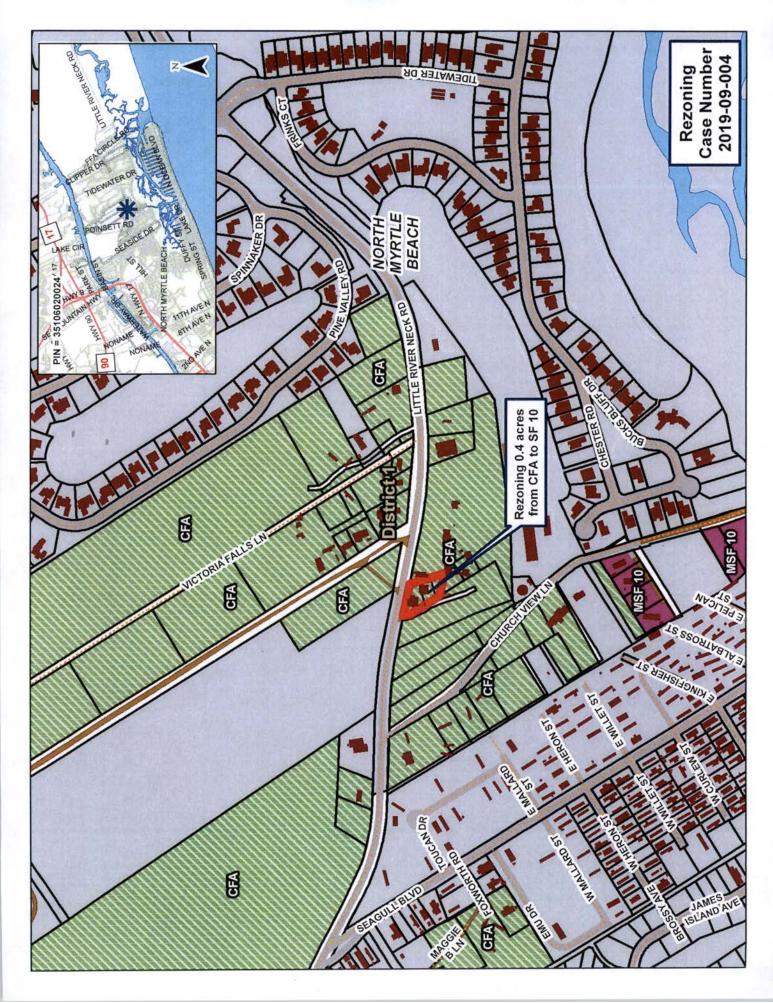


Applican	Sandra Jones & Lee O. Edge (843) 655-0915 (Energov # 046687)			Rezonin	g Request #	2019-09-004
PIN #	35106020024			County Council District #		1 - Worley
Site Location	Off Little River Neck Rd in North Myrtle Beach			Staff Recommendation		
Site Location	On Little River Neck Rd III North Myrtle Beach			PC Recommendation		
Property Owner Contac	Sandra Jones & Lee O. Edge			Size (in acres	) of Request	.4
ONING DIS	TRICTS	LOCATION INFO	RMATION	ADJACE	NT PRO	PERTIE
Current Zoning	CFA	Flood and Wetlan Information		City of North Myrtle Beach		
Proposed Zoning	SF10	Public Health & Safe (EMS/fire) in mile		CFA	Subject Property	CFA
Proposed Use			Public	CFA	CFA	CFA
Proposed Ose	Single family detached	Character of the Are	a Residential			
COMMENTS					V	
Discussion: The app		ne a legal non-conforming pro		t to subdivide an		
Comprehensive Pla Discussion: The apprehensive two single-family driveways with parking equests for variance Myrtle Beach may ochins parcel is designated.	olicant is requesting to rezor nily zoned parcels. Two hom ng. An unplatted access driv can be anticipated based o cur in the future when water	ne a legal non-conforming pro es are currently located within eway is present along the we n the sketch plan submitted v	perty with the inten in the parcel along v stern boundary of to yith the rezoning. A	t to subdivide an with accessory st he parcel. At the nnexation of this	ructures and a time of subdivi	ccess sion several
Comprehensive Pla Discussion: The apprehensive two single-family driveways with parking equests for variance Myrtle Beach may oc	olicant is requesting to rezor nily zoned parcels. Two hom ng. An unplatted access driv can be anticipated based o cur in the future when water	ne a legal non-conforming pro- les are currently located within eway is present along the we in the sketch plan submitted v r services are requested.	perty with the inten in the parcel along v stern boundary of to yith the rezoning. A	t to subdivide an with accessory st he parcel. At the nnexation of this	ructures and a time of subdivi	ccess sion several
Comprehensive Pla Discussion: The apprehensive Williams of the apprehensiv	olicant is requesting to rezor nily zoned parcels. Two hom ng. An unplatted access driv can be anticipated based o cur in the future when water	ne a legal non-conforming pro- les are currently located within eway is present along the we in the sketch plan submitted v r services are requested.	perty with the inten in the parcel along v stern boundary of to yith the rezoning. A	t to subdivide an with accessory st he parcel. At the nnexation of this	ructures and a time of subdivi	ccess sion several
Comprehensive Pla Discussion: The apperent two single-family requests for variance Myrtle Beach may och This parcel is designated the comment:  TRANSPORT  Daily Trip	plicant is requesting to rezor nily zoned parcels. Two hom ng. An unplatted access driv can be anticipated based o cur in the future when water ated as Scenic & Conserva	ne a legal non-conforming pro- les are currently located withing eway is present along the we not the sketch plan submitted way services are requested.  ATTION	perty with the inten in the parcel along v stern boundary of to yith the rezoning. A	t to subdivide an vith accessory st he parcel. At the nnexation of this	ructures and a time of subdivi	ccess sion several City of North
Comprehensive Pla Discussion: The apprehensive Pla Discussion: The	olicant is requesting to rezornily zoned parcels. Two homes. An unplatted access driving an unplatted based of cur in the future when water ated as Scenic & Conservation of the conservat	ne a legal non-conforming pro- les are currently located withing eway is present along the we not the sketch plan submitted way services are requested.  ATTION	perty with the inten in the parcel along v stern boundary of t with the rezoning. A emprehensive plan.	t to subdivide an with accessory stree parcel. At the nnexation of this additions	ructures and actime of subdivi	coess sion several City of North

# DIMENSIONAL STANDARDS

11/100000	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	SF10	CFA (Com/Res)	CFA (Com/Res)			
Min. Lot Size (in square feet)	10,000	43560/21780	43560/21780			
Front Setback	25	60/25	60/25			
Side Setback	10	25/10	25/10			
Rear Setback	15	40/15	40/15			
Bldg. Height	35	35/35	35/35			

BY: sm

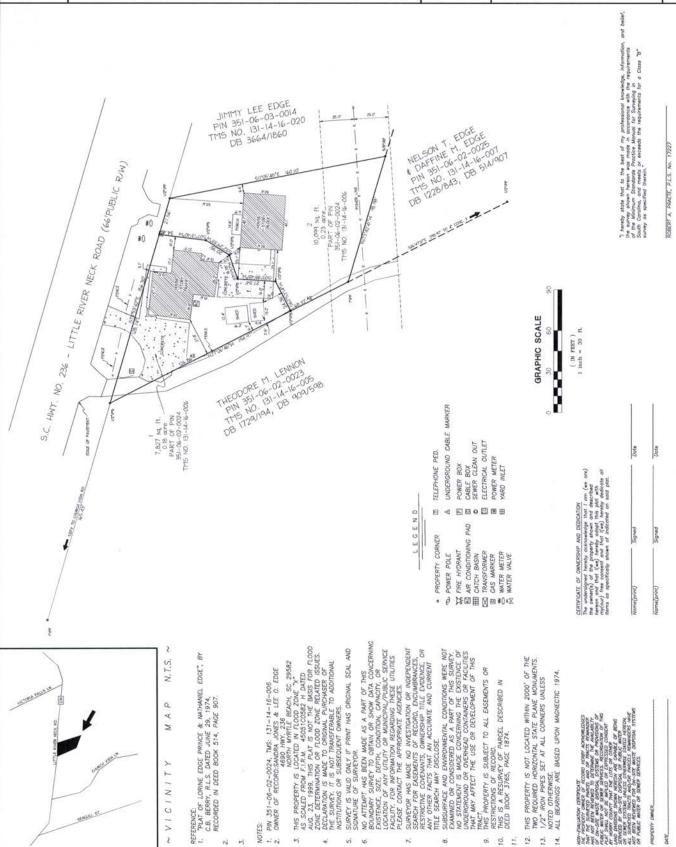




BEAISION :371 SVNDKY IONES & FEE O' EDGE ELLLE BINER TOWNSHIP, HORRY COUNTY, SOUT :37VO HECKED BY: R.A.P. SOUTH CAROLINA BOUNDARY PIN 351-06-02-0024 9102/81/90 :31AC PARCEL SPLIT SURVEY ZS-61 'ON 80

PHONE: 843-399-4260 ♣ LITTLE RIVER, S.C. 29566 1087 REDI MIX ROAD, UNIT ATLANTIC SURVEYING

ATANTE SUPERIC, LE No. CS20



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Date Notification Mailed: 9/12/2019

Owners Notified:

96

Applicant	DDC Engineers Inc (843) 692-3200 (Energov # 046780)	Rezoning Request #	2019-09-005
PIN#	42800000021	County Council District #	6 - Crawford
Site Location	Hwy 31 & Hwy 544 in Myrtle Beach	Staff Recommendation	
Olic Location	Thwy 51 & Thwy 544 in Myrtle Deach	PC Recommendation	
Property Owner	Rebecca M Collins		
Contact	Nobel and the second se	Size (in acres) of Request	20.01

Current Zoning	PUD
Proposed Zoning	PUD
Proposed Use	Additional use within existing PUD

LOCATION INFOR	MATION	ADJACEN	NT PROP	ERTIES
Flood and Wetland Information	x	MSF20	MSF20	PUD
Public Health & Safety (EMS/fire) in miles	2 (Fire/Medic)	Dept. of Transportation	Subject Property	PUD
Utilities	Public	HC	CFA	PUD
Character of the Area	Residential & Co	ommercial		

#### COMMENTS

Comprehensive Plan District: Urban Corridor & Urban Community

Overlay/Area Plan: Hwy 544 Overlay

Discussion: The applicant is requesting to rezone to add a medical district within a portion of the existing Weatherly PUD. Uses within the Medical District are proposed to include all uses allowed under the ME1 Inpatient Medical Services zoning district to include doctor's offices and clinics for inpatient and outpatient services. Access is proposed as a connection to Sun Light Drive. A portion of the parcel is within the boundary of the WEST HWY 544 OVERLAY. Rezoning request 2019-09-006 is located in close proximity and proposes routes for access to Sun Light Drive and Forestbrook Road.

RIDE 3 Project ;The widening of Forestbrook Road, between U.S. Hwy 501 and Dick Pond Road will feature 5-lanes including a center turnlane and the installation of bike/pedestrian facilities such as sidewalks and wider travel lanes.

The referenced area of the approved PUD allows for a total of 42 single family and multi-family units along with commercial uses.

The parcel is designated as Suburban in the IMAGINE 2040 comprehensive plan.

**Public Comment:** 

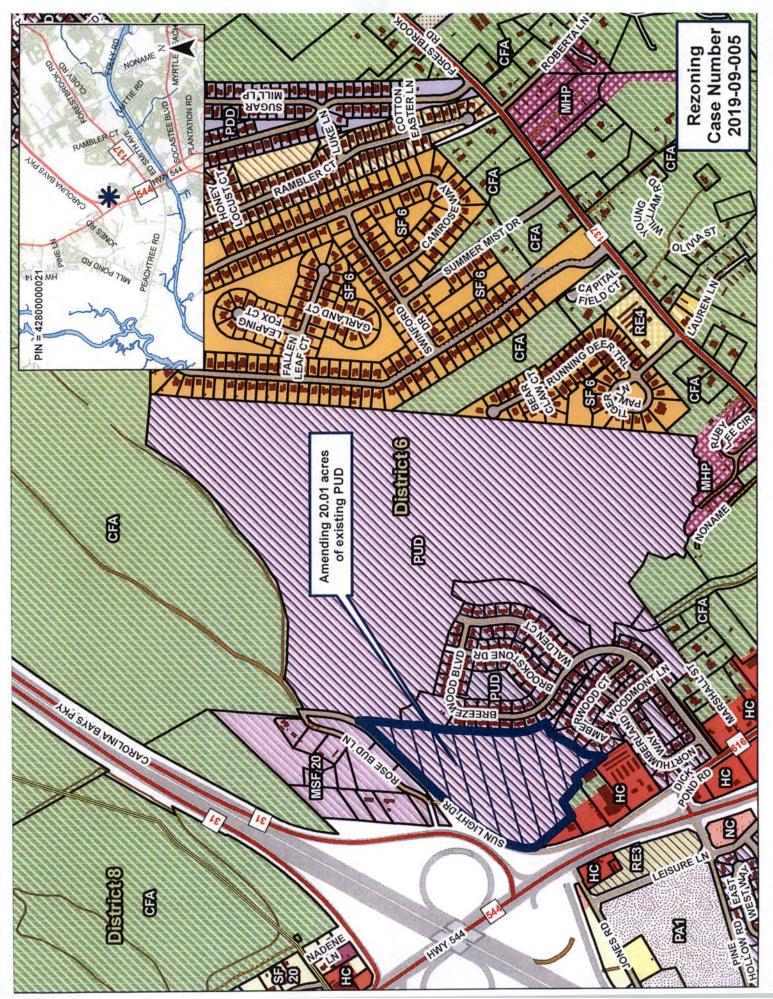
# TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	0 / 3000	Existing Road Conditions	County, Paved, Two-Lane
Projected Daily Trips based on proposed use / Max Daily Trips based on proposed zoning)	3000 / 3000	Rd, Station, Traffic AADT (2018) % Road Capacity	SC 544, Station 239 34,100 AADT 95% - 100%

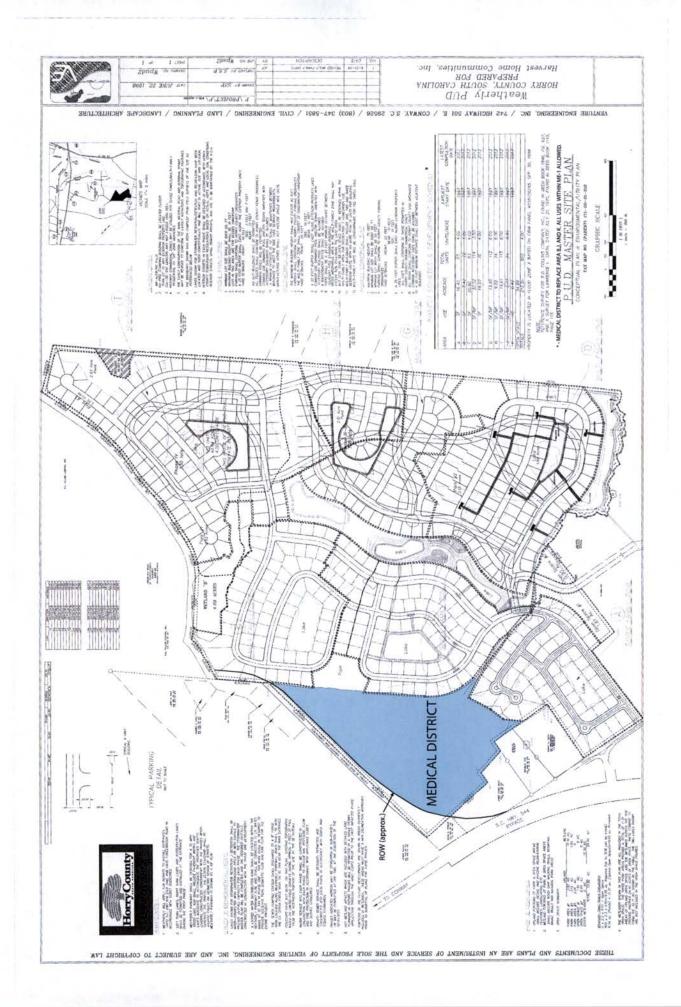
Proposed Improvements

## DIMENSIONAL STANDARDS

11/12/200	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	PUD	PUD (Weatherly)	PUD (Weatherly)	MSF20	CFA (Com/Res)	HC
Min. Lot Size (in square feet)	10000	5000	5000	20,000	43560/21780	10000
Front Setback	25	10	10	40	60/25	50
Side Setback	10	3 & 7	3 & 7	15	25/10	10
Rear Setback	15	10	10	25	40/15	15
Bldg. Height	120	35	35	35	35/35	120







ZONING DIS	STRICTS
Current Zoning	CFA
Proposed Zoning	MRD3
Proposed Use	Residential Subdivision

PIN#

Site Location

**Property Owner** 

Contact

LOCATION INFOR	MATION	ADJACE	NT PROP	ERTIES
Flood and Wetland Information	^	CFA	SF10	PUD
Public Health & Safety (EMS/fire) in miles	3.25 (Fire/Medic)	Department of Transportation	Subject Property	SF7
Utilities	Public	MSF20	PUD	SF6
Character of the Area	Residential & Con	nmercial		

#### COMMENTS

Comprehensive Plan District: Urban Communities

Overlay/Area Plan: None

Discussion: The applicant is requesting to rezone for a residential development adjacent to existing residential subdivision communities and several PUD zoned properties. MRD3 (Multi-Residential Three) allows for mixed residential development in urban areas and this request proposes 690 single-family lots and 204 multi-family units for a proposed total of 894 units, at a gross density of 3.36 units/acre. Three sustainable development standards are proposed: site design of active open space (sidewalks), increased recreation space, and community gardens. Two points of access are proposed, one direct access to Sun Light Drive and one connection through an adjacent PUD (Weatherly) to Forestbrook Road.

RIDE 3 Project ;The widening of Forestbrook Road, between U.S. Hwy 501 and Dick Pond Road will feature 5-lanes including a center turnlane and the installation of bike/pedestrian facilities such as sidewalks and wider travel lanes.

The subject parcels are designated as Suburban in the IMAGINE 2040 comprehensive plan.

**Public Comment:** 

# TRANSPORTATION INFORMATION Daily Trips based on existing use

/ Max Daily Trips based on current zoning Projected Daily Trips based on proposed 0 / 4000

**Existing Road Conditions** 

County, Paved, Two-Lane

use / Max Daily Trips based on proposed zoning)

6700 / 6700

Rd, Station, Traffic AADT (2018) % Road Capacity

SC 544, Station 239 34,100 AADT 95% - 100%

# DIMENSIONAL STANDARDS

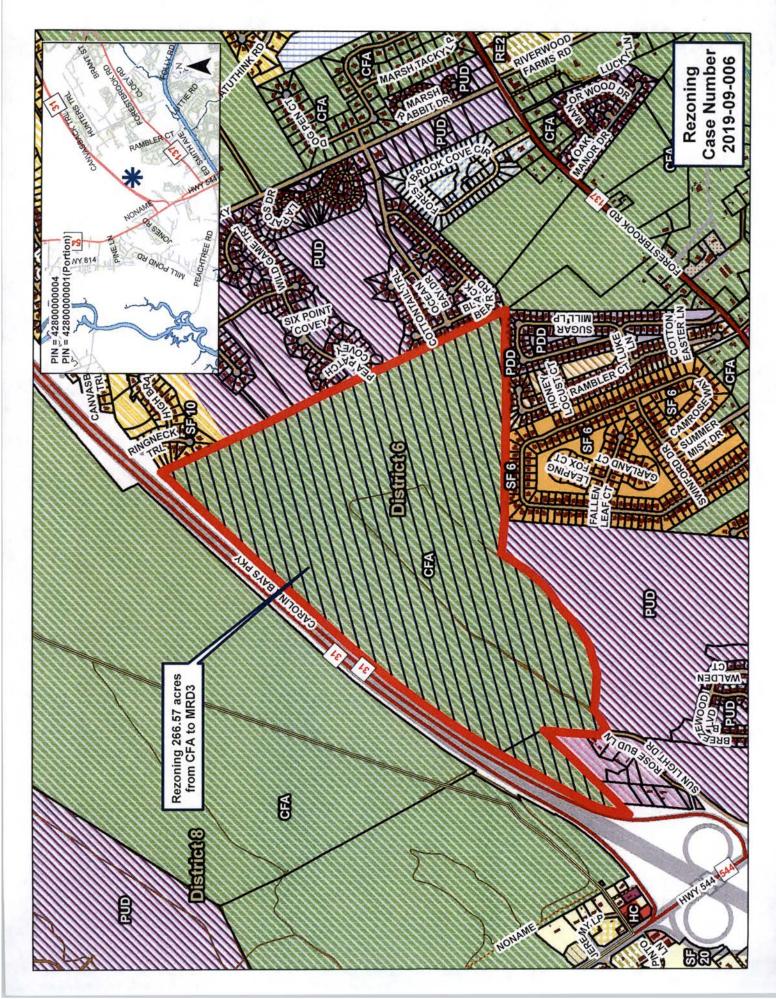
**Proposed Improvements** 

11188000	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	MRD3	CFA (Com/Res)	CFA (Com/Res)	PUD	SF10	SF6 & SF7
Min. Lot Size (in square feet)	5000	43560/21780	43560/21780	5000	10000	6000/7000
Front Setback	15	60/25	60/25	10	25	20/25
Side Setback	5	25/10	25/10	3 & 7	10	10/10
Rear Setback	10	40/15	40/15	10	15	15/15
Bldg. Height	40	35/35	35/35	35	35	35/35

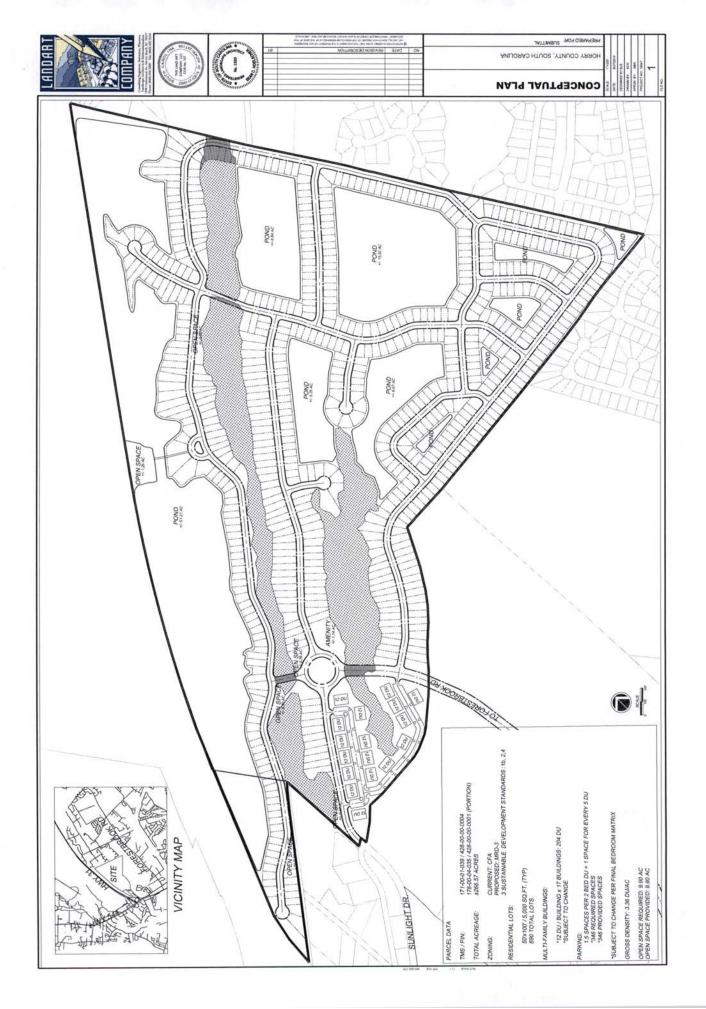
Date Notification Mailed: 9/12/2019

Report Date: 9/12/2019 BY

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(Energov # 046782)	Rezoning Request #	2019-09-007
	County Council District #	7 - Bellamy
V M TO BE WILL	Staff Recommendation	

Size (in acres) of Request LOCATION INFORMATION

X

1.88 (Fire/Medic)

ADJACENT PROPERTIES SF20 SF20 CFA Subject SF20 CFA Property

Utilities

Information

Public SF20 SF20 SF20

Character of the Area

Flood and Wetland

(EMS/fire) in miles

Public Health & Safety

Residential & Commercial

# COMMENTS

Comprehensive Plan District: Urban Corridor

Center

SF20

PROPERTY INFORMATION

32504010017

Child Development

Hwy 319 in Conway

Pamela Dawn Squires

Venture Engineering Inc (843) 347-5851

Applicant

Site Location

**Property Owner** 

Current Zoning

Proposed Use

Proposed Zoning

Contact

ZONING DISTRICTS

PIN#

Overlay/Area Plan: None

Discussion: The applicant requests to rezone a residential property to allow for a Child Development Center (Daycare). An adjacent residential property is the location of the Homewood Baptist Church. This parcel is located within the boundary of the 319 Area Plan. A variety of residential and commercial zoning districts are present within close proximity. Across Highway 319 from the subject property, several parcels are zoned Office/Professional/Institutional (OPI); a similar and presently retired zoning district. The Office-Professional (PR1) zoning district is intended to provide opportunities to locate and develop administrative and professional offices and educational institutions in locations served by primary access. The subject property has direct access to Highway 319 with a horseshoe driveway serving the existing structure.

The parcel is designated Rural and Economic Activity Center in the IMAGINE 2040 comprehensive plan.

**Public Comment:** 

#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning

**Existing Road Conditions** 

State, Paved, Two-Lane

Projected Daily Trips based on proposed use / Max Daily Trips based on proposed zoning)

Rd, Station, Traffic AADT (2018) 80 / 150 % Road Capacity

SC 319 \*5,000 AADT 30% - 35%

**Proposed Improvements** 

## DIMENSIONAL STANDARDS

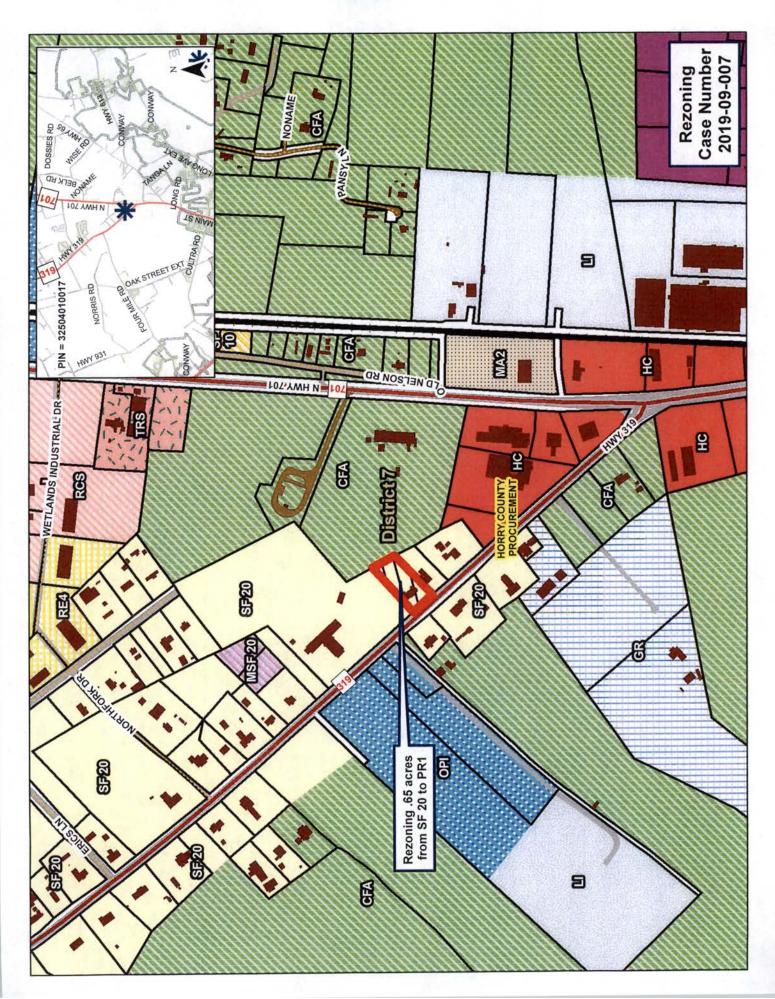
11/18/200	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
E CONTRACTOR OF THE PARTY OF TH	PR1	SF20	SF20	CFA (Com/Res)		
Min. Lot Size (in square feet)	10000	20000	20000	43560/21780		
Front Setback	25	40	40	60/25		
Side Setback	10	15	15	25/10		
Rear Setback	15	25	25	40/15		
Bldg. Height	36	35	35	35/35		

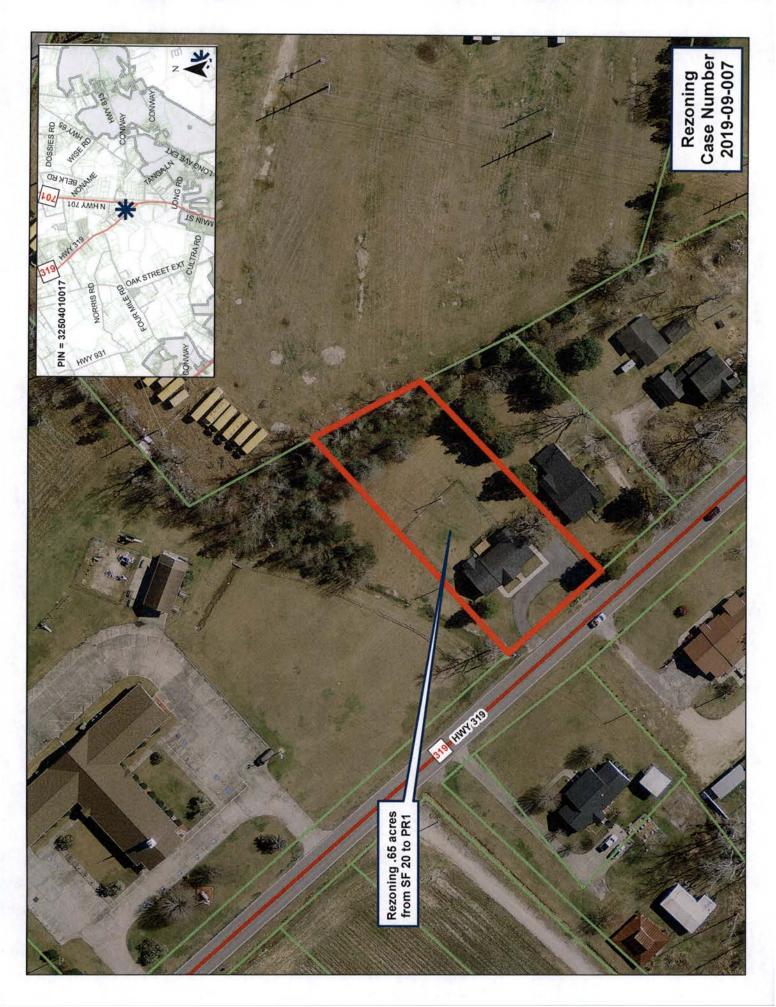
\*NOTE: AADT estimated from peak hour counts at SC 319 intersection from US 701 widening study - Ride 3)

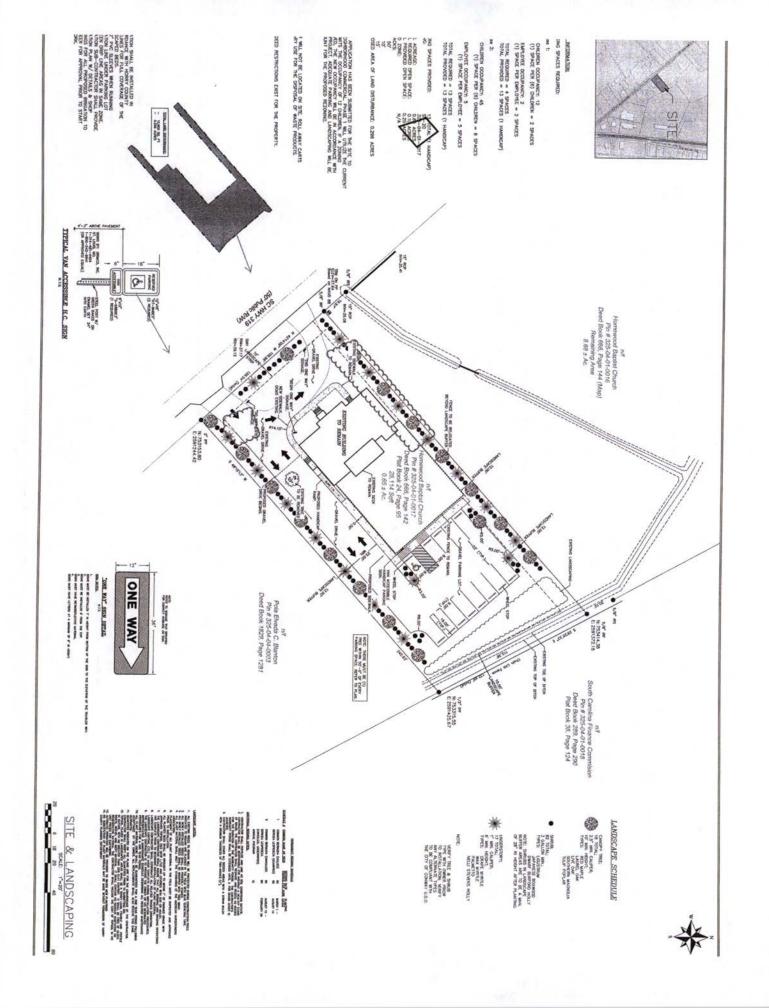
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Date Notification Mailed: 9/12/2019

Report Date: 9/12/2019







# ZONING DISTRICTS

PDD
PDD
Single-family residential

OCATION INFOR	RMATION	ADJACE	NT PROP	ERTIES
Flood and Wetland Information	х	PDD	PDD	PDD
Public Health & Safety (EMS/fire) in miles	3 (Fire)	PUD	Subject Property	PDD
Utilities	Public	PUD	PUD	CFA
Character of the Area	Residential & Co	ommercial		19.5

#### COMMENTS

Comprehensive Plan District: Urban Communities

Overlay/Area Plan: None

Discussion: Request to amend the existing Waterway Plantation Multi-Family PDD (Ord. 126-03) for the development of 36 single-family units as allowed under the 2 current conservation agreements. The approved PDD proposed 1,387 units with a density of 5.9 units/acre and this amendment proposes a net density of 0.3 units/acre. Although the amendment does not propose a higher intensity of development, the major amendment process is required as the previous PDD did not establish setbacks for the single-family use proposed in this request.

The project proposes design standards for the roadway that are inconsistent with current County development regulations. This parcel is designated as Scenic & Conservation in the IMAGINE 2040 comprehensive plan.

## **Public Comment:**

#### TRANSPORTATION INFORMATION

Daily Trips based on existing use / Max Daily Trips based on current zoning	0 / 5160	Existing Road Conditions	County, Paved, Two-Lane
Projected Daily Trips based on proposed	288 / 288	Rd, Station,	River Oaks Dr, County Rd
use / Max Daily Trips based on proposed		Traffic AADT (2018)	11,500 AADT
zoning)		% Road Capacity	65% - 70%

Proposed Improvements

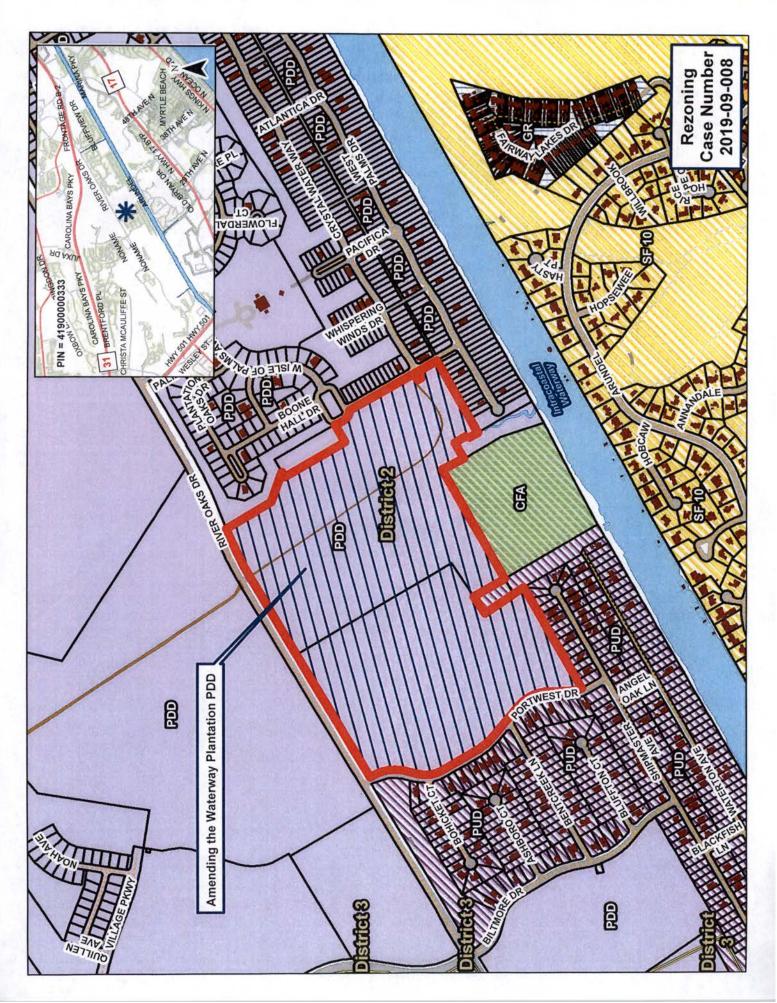
#### DIMENSIONAL STANDARDS

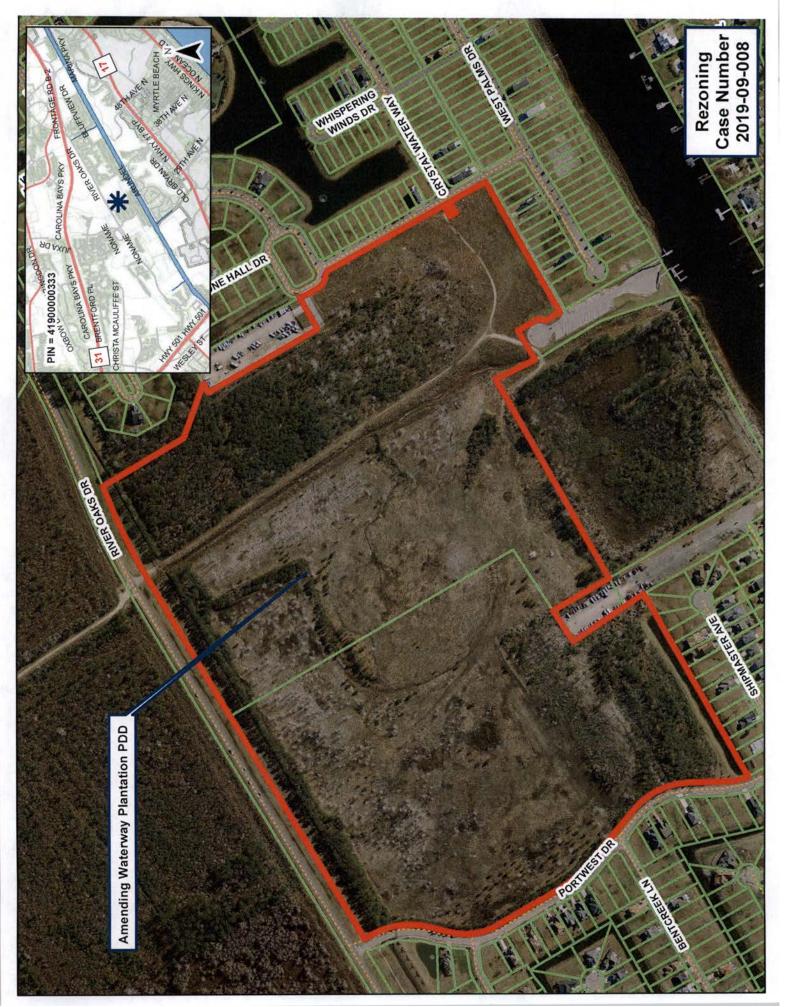
11/18/2000	Requested	Current	Adjacent	Adjacent	Adjacent	Adjacent
	PDD	PDD	PDD(Waterway Palms)	PUD <sub>(Carolina Waterway Pitn)</sub>	CFA (Com/Res)	
Min. Lot Size (in square feet)	5000	N/A	5200	9000	43560/21780	
Front Setback	10	N/A	10	25	60/25	
Side Setback	5	N/A	5	7.5	25/10	
Rear Setback	10	N/A	10	15	40/15	
Bldg. Height	35	N/A	45	35	35/35	

Date Notification Mailed: 9/12/2019

Report Date: 9/12/2019

BY:sm





# **Instructions**

The Planned Development District (PDD) for "Waterway Plantation Multi-family" includes the development of 111.97 +/- acres located along River Oaks Drive in Horry County, South Carolina.

# 1) Land Use

a) Proposed Uses, Acreages and Percentage Mixture in Project:

Proposed Use	# of units	Acreage	Density	Percentage of Project 6.25%	
Single Family - Detached	36	+/- 7.0 AC	+/-5.1U/A		

## b) Proposed Dimensional Standards:

Proposed Use	Lot Area (sq.ft)	Minimum Lot Width	Setbacks (in feet)				CWW. 18.7 (B) 4.7 (A)
			Front	Side	Rear	Corner Side	Height * (ft)
Single Family - Detached	5,000 SF	40'	10'	5'	10'	10'	35'

<sup>\*</sup>Height to be measured from grade to the peak of the roof and/or the top of architectural detailing excluding chimneystacks.

- c) Accessory structures such as, but not limited to garages and storage buildings shall be allowed. These structures must meet setback requirements above, along with community architectural standards.
- d) Accessory structures, equipment, and architectural features such as but not limited to: garages, HVAC equipment, and chimney walls shall have a minimum side setback of 2'.
- e) Designated community open space, nor active open space shall be required for the development.

#### 2) Park Space

- a) Land area outside of roadways and single family build areas is intended to be used as active open space.
- b) These uses include, walking trails, biking trails, outdoor sports facilities that mesh well with the natural environment, and facilities or spaces whose purposes is for the outdoor enjoyment of the natural environment.
- c) Supporting structures, infrastructure, parking, and buildings as deemed necessary by the owner, engineer, architect, or landscape architect shall be allowed in this area.
- d) These supporting facilities shall be designed to mesh well with the natural environment and the atmosphere created by this development.
- e) Supporting facilities shall abide by the same setbacks as designated in section 1)b) in relation to the overall parcel.

## 3) Roads

- Roads may include amenities such as entry gates, mail kiosk, parking, signage and other items intended for use by multiple residences.
- 2. Roads may include vegetation, parking, and other items intended to beautify or serve the individual residences.
- 3. Roads shall adhere to the following design standards:
  - a. Minimum 20' travel way width.
  - b. Be constructed of an all weather surface which may include, but not limited to: asphalt, concrete, GABC, or other surface material capable of supporting traffic and emergency vehicle loads as approved by design engineer.
  - May or may not include curb and gutter, or other form of roadside delineation/stormwater collection system.
  - d. May or may not include roadside swales as designated by the stormwater engineer to accommodate stormwater considerations, or as designated by the owner for aesthetic considerations.
  - e. May or may not include roadside trees or other landscape considerations at the designation of the design engineer or owner.
  - f. Shall have a minimum section of 24" compacted sub base, 8 inches of compacted base, 1.5" of Intermediate course asphalt, and 1.5" of surface course asphalt, or a pavement section as designated by the design engineer.
  - g. Roads shall be designed to accommodate emergency vehicle access as well as meet the overall needs and aesthetic considerations of the project.
  - h. Construction methods shall comply with SCDOT standards where applicable.
  - Road right of way shall encompass travel way, roadside drainage, or any other items intended for the public good.
- 4. Roads may be either super elevated or have a central crown.
- 5. All roads may allow for encroachment of water, sewer, and other utilities
- Typical road sections are attached in Appendix A. These diagrams are shown for informational purposes and may not reflect actual roadway design. Specifications set forth in this design manual shall govern road design.

# 4) Landscape

- a) Parcel Perimeter Landscape
  - Landscaping, plantings, or trees shall not be arbitrarily required along the perimeter of the larger parent parcel.
  - ii) Where applicable landscaping along the perimeter of the parent parcel shall be native and natural (Appendix B)
  - iii) No supplemental plantings shall be required around the parcel perimeter, nor shall an arbitrary buffer be required
  - iv) Existing and/or natural vegetation along parcel perimeter shall not be removed except in areas as designated by the design engineer, owner, or landscape architect.
- b) Roadway Landscape
  - i) Landscaping, plantings, or trees shall not be arbitrarily required along roadway areas.

- ii) At the discretion of the design engineer and owner, plantings and vegetative screening may be used to increase the aesthetic appeal of the project.
- iii) Roadway plantings, where used, should include native materials when applicable and should coincide with the overall theme of the project (Appendix B)
- c) Residential Development Area Landscape
  - Landscaping, plantings, or trees shall not be arbitrarily required within the residential development areas, nor on individual residential parcels.
  - ii) At the discretion of the design engineer, owner, or landscape architect plantings and vegetative screening may be used to increase the aesthetic appeal and sight lines within the residential development areas.
  - iii) Where applicable plantings should include native materials and should coincide with the overall theme of the project. (Appendix B)
- d) Vegetation deemed to be a hazard, hinderance, or otherwise invasive to roadways or residential development areas shall be removed at the discretion of the engineer, owner, or landscape architect.
- e) Vegetation or trees that are dead, dying, diseased, pose a risk to other vegetation on site, or as designated by the engineer, owner, or landscape architect may be removed.
- f) Clearing, as defined as removal of more than 6 trees greater than 4" DBH within 100' radius, or removal of ground cover vegetation or shrubbery for more than 200sf/acre shall not occur unless to accommodate recreational, access, or utility uses, or unless in conformance with section (e) above.



# Planning Commission Decision Memorandum Horry County, South Carolina

Date:

September 18, 2019

From:

Planning and Zoning

Division:

Infrastructure and Regulation Prepared By: John Danford, Principal Planner

Cleared By:

David Schwerd, Director

Regarding:

PINs 419-00-00-0334 & 419-00-00-0333

## ISSUE:

Should the Planning Commission waive the access management and platting standards for a Major subdivision consisting of 36 single-family detached lots?

# PROPOSED ACTION:

Waive the access management requirements of Article 4 and allow a 20' wide base (all-weather) road within a 50' private right-of-way to serve as primary access to 36 single-family detached lots.

# **RECOMMENDATION:**

Approval with condition that minimum centerline radius of the road is 42'.

# BACKGROUND:

The applicant is requesting to utilize a 50' private right-of-way with a 20' wide base (all-weather) road built to County standards. Curb and gutter will not be included in the design and parking within the right-of-way is proposed. Minimum centerline radius is 40', however a minimum 42' is required for fire access. This request is intended to minimize impacts to the existing conservation easements that have been placed on both parcels.

The road is intended to serve 36 single-family detached lots which is allowed under the conditions of the conservation easements (18 units per parcel). The conservation easements (DB's 4069/2421 & 4163/2495) were established in 2017 and 2018 respectively.

Article 4, Section 2-1.1 states "Development 50 lots/units or less shall be accessed by a minimum of one (1) pave point of ingress/egress". Table 4D requires high intensity access roads with on street parking to have a minimum pavement width of 28' with curb and gutter.

# ANALYSIS:

There are special conditions that apply to this request. The existing conservation easements are intended to minimize impacts via protection of environmentally sensitive lands. The proposed design will not compromise the intent of the Land Development Regulations as the mitigation offered is a smaller footprint in an environmentally constrained area.

PC Decision Memo- PINs 419-00-00-0334 & 419-00-00-0333 Cottonwood

# Planning Commission Decision Memorandum Horry County, South Carolina

Date:

August 16, 2019

From:

Planning and Zoning

Division:

Infrastructure & Regulation

Prepared By: Charles Suggs, Senior Planner

Cleared By:

David Schwerd, Director of Planning

Regarding:

Official Map - Conway Perimeter Rd.

# **ISSUE:**

Should Horry County add the proposed future right-of-way for the Conway Perimeter Road from Highway 378 to Highway 701 to the "index map" of the Official Map Ordinance?

## PROPOSED ACTION:

Approve the proposed amendment to the Official Map.

## RECOMMENDATION:

Staff recommends approval.

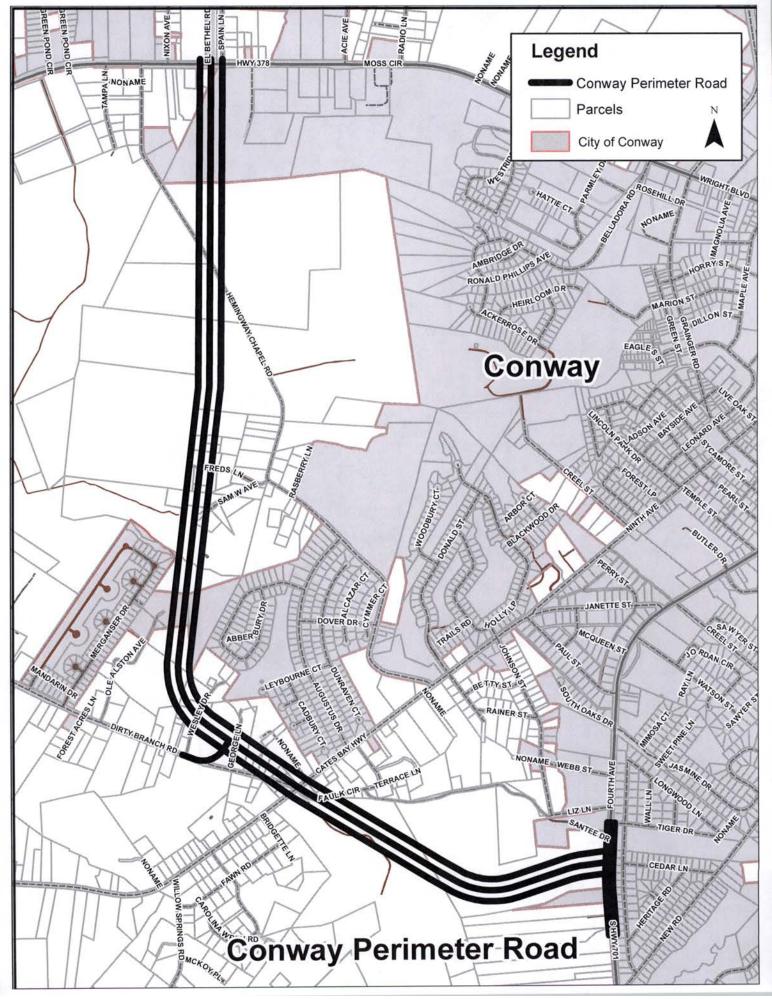
# BACKGROUND:

Ordinance 107-98 created an Official Map Ordinance for Horry County. The ordinance provides the county with the opportunity to identify and reserve future road rights-of-way from the impacts of increased acquisition costs caused by the development of the land where the improvements are to be located. Future right-of-way locations are identified on an "index map" which is part of the Official Map Ordinance.

The construction of the Conway Perimeter Road from Highway 378 to Highway 701 has been identified as a vital transportation link. The segments of the Conway Perimeter Road need to be added to the "index map" to protect the right-of-way from development encroachments that can result in increased property acquisition costs.

# **ANALYSIS:**

Amending the official map would protect the right of way from future development and would secure another route of transportation along the perimeter of the city of Conway.



### Planning Commission Decision Memorandum Horry County, South Carolina

Date:

August 16, 2019

From:

Planning and Zoning

Division:

Infrastructure & Regulation

Prepared By: Katie Moore, Senior Planner

Cleared By:

David Schwerd, Director of Planning

Regarding:

Value-added Product Processing in agricultural districts

#### **ISSUE:**

Should Horry County amend the Zoning Ordinance to address the need for value-added product processing as a permitted use in agricultural districts?

#### PROPOSED ACTION:

Approve the proposed amendments to the Zoning Ordinance.

#### RECOMMENDATION:

Staff recommends approval.

#### BACKGROUND:

Horry County Planning & Zoning staff are receiving requests for permitted zoning to allow for agricultural-related processing in rural areas of the County. The districts that allow value-added product processing are industrial and commercially intense in nature and are typically categorized as Manufacturing and Industrial areas. Therefore, staff recommends value-added agricultural product processing to be added as a conditional use in agricultural zoning districts FA, CFA, AG1, and AG2 to allow flexibility without introducing more intense industrial and commercial uses into the rural areas. Value-added agricultural product is defined as the enhancement or improvement of the overall value of an agricultural commodity to a higher value. The enhancement or improvement includes, but is not limited to, marketing, agricultural processing, transforming packaging, and educational presentation activities and tours that relate to agriculture or agricultural products.

#### ANALYSIS:

The proposed amendment will increase the conditional uses within the FA, CFA, AG1, and AG2 zoning districts to include value-added agricultural product processing. Allowing for value-added processing in rural areas of the County is consistent with the priorities and strategies outlined in Envision 2025 and Imagine 2040 comprehensive plans for rural conservation and the preservation of rural community character.

COUNTY OF HORRY	)	
	)	ORDINANCE NO
STATE OF SOUTH CAROLIN	A )	

AN ORDINANCE TO AMEND APPENDIX B, ZONING ORDINANCE ARTICLE VII OF THE HORRY COUNTY CODE OF ORDINANCES PERTAINING TO VALUE ADDED PROCESSING.

WHEREAS, Horry County has received several requests for permitted zoning to allow for agricultural-related processing in the rural areas of the County; and,

WHEREAS, the districts that currently allow value-added product processing are industrial and commercially intense in nature; and,

WHEREAS, including value-added agricultural product processing as conditional use will allow flexibility without introducing more intense industrial and commercial uses into rural areas; and,

WHEREAS, it is the intent of the County Council to reconcile the standards of the zoning ordinance with the changing needs of the rural community.

**NOW THEREFORE,** by the power and authority granted to the Horry County Council by the Constitution of the State of South Carolina and the powers granted to the County by the General Assembly of the State, it is ordained and enacted that:

1. <u>Amendment of Appendix B, Zoning Ordinance, Article VII, Section 702.</u> <u>Forest/Agricultural District (FA).</u> Section 702 of the Zoning Ordinance is hereby amended as follows:

(All text in strikethrough shall be deleted and all text shown underlined and bolded shall be added)

702.2 Conditional Uses. The following uses shall be permitted on a conditional basis, in any Forest Agricultural District:

- (P) Value-added agricultural product processing, provided that:
  - 1. The property includes land under cultivation.
  - 2. The parcel is no less than five (5) acres in size.
- 2. <u>Amendment of Appendix B, Zoning Ordinance, Article VII, Section 703. Commercial Forest/Agricultural District (CFA).</u> Section 703 of the Zoning Ordinance is hereby amended as follows:

(All text in strikethrough shall be deleted and all text shown underlined and bolded shall be added)

- 703.2 Conditional Uses. The following uses shall be permitted on a conditional basis in any Commercial Forest/Agricultural District:
- (H) Reserved. Value-added agricultural product processing, provided that:

- 1. The property includes land under cultivation.
- 2. The parcel is no less than five (5) acres in size.
- 3. <u>Amendment of Appendix B, Zoning Ordinance, Article VII, Section 726. Agricultural District (AG1).</u> Section 726 of the Zoning Ordinance is hereby amended as follows: (All text in strikethrough shall be deleted and all text shown <u>underlined and bolded</u> shall be added)

726.2 Conditional Uses.

#### (D) Value-added agricultural product processing, provided that:

- 1. The property includes land under cultivation.
- 2. The parcel is no less than five (5) acres in size.
- 4. <u>Amendment of Appendix B, Zoning Ordinance, Article VII, Section 727. Commercial Agricultural District (AG2).</u> Section 727 of the Zoning Ordinance is hereby amended as follows: (All text in strikethrough shall be deleted and all text shown <u>underlined and bolded</u> shall be added)

727.2 Conditional Uses.

#### (F) Value-added agricultural product processing, provided that:

- 1. The property includes land under cultivation.
- 2. The parcel is no less than five (5) acres in size.
- 5. <u>Severability</u>: If a Section, Sub-section, or part of this Ordinance shall be deemed or found to conflict with a provision of South Carolina law, or other pre-emptive legal principle, then that Section, Sub-section, or part of this Ordinance shall be deemed ineffective, but the remaining parts of this Ordinance shall remain in full force and effect.
- **6.** Conflict with Preceding Ordinances: If a Section, Sub-section or provision of this Ordinance shall conflict with the provisions of a Section, Sub-section or part of a preceding Ordinance of Horry County, then the preceding Section, Sub-section, or part shall be deemed repealed and no longer in effect.
- 7. Effective Date: This Ordinance shall become effective upon third reading.

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### Planning Commission Decision Memorandum Horry County, South Carolina

Date:

August 16, 2019

From:

Planning and Zoning

Division:

Infrastructure & Regulation

Prepared By:

Katie Moore, Senior Planner

Cleared By:

David Schwerd, Director of Planning

Regarding:

Building Height and Setbacks in Special Flood Hazard Areas

#### ISSUE:

Should Horry County take into account special flood hazard areas when determining building height and setback compliance?

#### PROPOSED ACTION:

Approve the proposed amendments to address special flood hazard area considerations.

#### RECOMMENDATION:

Staff recommends Approval.

#### **BACKGROUND:**

Horry County does not provide additional vertical height allowance for structures within a special flood hazard area. The coastal jurisdictions of Georgetown County, Myrtle Beach, and North Myrtle Beach reference base flood elevation and/or flood elevation certificate in determination of building height.

Older homes and buildings in coastal and riverine zones tend not to be constructed above the base flood elevation (BFE) determined by FEMA, which is not static and is updated periodically. Additionally, Horry County adopted Flood Damage Prevention and Control as Chapter 9 of the Code of Ordinances that includes provisions for flood hazard reduction such as elevation. Currently Horry County regulations state that certain types of improvements to, or replacement of, structures within special flood hazard areas require elevation. However, lot size may limit the ability to conform to setbacks, and area overlay zones can pose challenges to elevation due to height restrictions.

There are many structures throughout Horry County built prior to zoning that do not meet current lot development requirements. Known as a legal non-conforming structures, these buildings are subject to significant limitations on allowable alterations and reconstruction.

#### ANALYSIS:

Amending the Zoning Ordinance to address elevation of structures in special flood hazard areas recognizes a need to protect public safety without harming coastal and riverine property owners and is consistent with neighboring coastal jurisdictions.

Planning Commission Decision Memo - building height and setbacks in special flood hazard areas

COUNTY OF HORRY )	
)	ORDINANCE NO
STATE OF SOUTH CAROLINA )	

AN ORDINANCE TO AMEND ZONING APPENDIX B OF THE HORRY COUNTY CODE OF ORDINANCES PERTAINING TO BUILDING HEIGHT AND SETBACK COMPLIANCE REGARDING THE ELEVATION OF STRUCTURES WITHIN SPECIAL FLOOD HAZARD AREAS.

WHEREAS, the Zoning Ordinance shall define building height using current building code standards and remove reference to base flood elevation from district height language; and,

WHEREAS, the amended Zoning Ordinance sections shall create consistency for determination of building height and setback requirements with neighboring jurisdictions; and,

WHEREAS, exceptions for the elevation of conforming and non-conforming structures shall be provided in special flood hazard areas to account for elevation requirements determined by FEMA and Horry County; and,

WHEREAS, it is the intent of the County Council to allow properties subject to improvements for the protection of public safety to be used to their highest potential.

**NOW THEREFORE,** by the power and authority granted to the Horry County Council by the Constitution of the State of South Carolina and the powers granted to the County by the General Assembly of the State, it is ordained and enacted that:

1. <u>Amendment of Zoning Appendix B, Article IV, Section 416</u>. Section 416 of the Zoning Ordinance is hereby amended as follows:

(All text in <u>strikethrough</u> shall be deleted and all text shown <u>underlined and bolded</u> shall be added)

416. Building Height

The vertical distance measured from the finished grade at the building line to the highest point of the roof or the average height of the roof as calculated in accordance with provisions of the Standard Building Code mean elevation of the finished grade at the front of a building or structure to the mid-point between the eaves and the highest point of the roof. Except that within special flood hazard areas height shall be measured from the base flood elevation, plus up to 3 feet of elevation to accommodate provisions for flood hazard reduction as specified in Chapter 9 of the Horry County Code of Ordinances. (For exceptions refer to sections 707.3, 903 and 905).

2. <u>Amendment of Zoning Appendix B, Article VII, Section 709.3.</u> Section 709.3 of the Zoning Ordinance is hereby amended as follows:

(All text in <u>strikethrough</u> shall be deleted and all text shown <u>underlined and bolded</u> shall be added)

- 709.3 (E) The maximum building height is one hundred twenty (120) feet, provided that the requirements of all other applicable ordinances can be met, such as the Airport Height Ordinance. For multifamily projects developed on tracts less than one (1) acre in size, the maximum allowable height shall not exceed sixty (60) feet in height above grade or the base flood elevation (BFE), whichever is greater;
- 3. <u>Amendment of Zoning Appendix B, Article VII, Section 720.3.</u> Section 720.3 of the Zoning Ordinance is hereby amended as follows: (All text in strikethrough shall be deleted and all text shown underlined and bolded shall be added)
- 720.3 (A) 5. Maximum building height above base flood elevation: Twenty-five (25) feet.
- **4.** Amendment of Zoning Appendix B, Article V, Section 500.2. Section 500.2 of the Zoning Ordinance is hereby amended as follows:

  (All text in strikethrough shall be deleted and all text shown underlined and bolded shall be added)
- 500.2 Enlargements and alterations
- c. Structures may be elevated for flood protection as long as the structure is not enlarged or altered in a manner that causes further encroachment into the required setback. Any building or structure, conforming or non-conforming may be raised up to three feet above base flood elevation in special flood hazard areas without having to come into compliance with required setback or height restrictions; no structure may exceed the maximum allowable height as allowed by the Airport Height Ordinance.
- 5. <u>Severability</u>: If a Section, Sub-section, or part of this Ordinance shall be deemed or found to conflict with a provision of South Carolina law, or other pre-emptive legal principle, then that Section, Sub-section, or part of this Ordinance shall be deemed ineffective, but the remaining parts of this Ordinance shall remain in full force and effect.
- 6. <u>Conflict with Preceding Ordinances</u>: If a Section, Sub-section or provision of this Ordinance shall conflict with the provisions of a Section, Sub-section or part of a preceding Ordinance of Horry County, then the preceding Section, Sub-section, or part shall be deemed repealed and no longer in effect.
- 7. <u>Effective Date</u>: This Ordinance shall become effective upon third reading.

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#### County Council Decision Memorandum Horry County, South Carolina

Date:

August 16, 2019

From:

Planning and Zoning

Division:

Infrastructure & Regulation

Prepared By: Desiree Jackson, Assistant Zoning Administrator

Cleared By:

David Schwerd, Director of Planning

Regarding:

Open Yard Storage

#### **ISSUE:**

Should Horry County allow open yard storage in the RE4 zoning district?

#### PROPOSED ACTION:

Approve open yard storage in RE4 as long as it meets the provision of Article XII, Section 1209.

#### RECOMMENDATION:

Staff recommends Approval.

#### BACKGROUND:

The county has received requests for open yard storage as a primary use on properties zoned RE4. Open yard storage is only allowed as a primary use in the Highway Commercial district, which cannot be rezoned to, and several industrial districts including the General Manufacturing & Industrial District (MA2). Adding open yard storage as a primary use in the RE4 zoning district will allow more flexibility without introducing industrial uses to redeveloping areas.

#### ANALYSIS:

The proposed amendment will allow Open Yard storage as a primary use in the RE4 zoning district.

COUNTY OF HORRY	)		
	)	ORDINANCE NO	
STATE OF SOUTH CAROLI	(NA)		

AN ORDINANCE TO AMEND APPENDIX B, ZONING ORDINANCE OF THE HORRY COUNTY CODE OF ORDINANCES PERTAINING TO OPEN YARD STORAGE

WHEREAS, Horry County has received several request for open yard storage in areas currently zoned High Bulk Retail (RE4); and,

WHEREAS, RE4 currently allows for parking lots and accessory outside storage; and,

WHEREAS, currently to rezone for open yard storage would require an industrial district of General Manufacturing and Industrial (MA2), Heavy/Intense Manufacturing and Industrial (MA3) or Marine Industrial (MI); and,

WHEREAS, allowing open yard storage in RE4 will allow more flexibility without introducing industrial uses to redeveloping areas; and,

WHEREAS, it is the intent of the Horry County Council to reconcile the standards of the zoning ordinance.

**NOW THEREFORE,** by the power and authority granted to the Horry County Council by the Constitution of the State of South Carolina and the powers granted to the County by the General Assembly of the State, it is ordained and enacted that:

1. <u>Amendment of Appendix B, Zoning Ordinance, Article VII, Section 748</u>. Section 748 of the Zoning Ordinance is hereby amended as follows: (All text in <u>strikethrough</u> shall be deleted and all text shown <u>underlined and bolded</u> shall be-added)

748.1 Permitted Uses[s]

- (T) Open yard uses for the sale, rental, and/or storage of new, used or salvaged materials, or equipment subject to provisions of 1209
- 2. Amendment of Appendix B, Zoning Ordinance, Article XII, Section 1209. Section 1209 of the Zoning Ordinance is hereby amended as follows: (All text in strikethrough shall be deleted and all text shown underlined and bolded shall be-added)

A. The HC <u>and RE4</u> districts allows open yard uses for the sale, rental, and/or storage of new, used, or salvaged materials, vehicles or equipment provided that:

- 1. The use shall be screened according to section 522.
- 2. No burning of materials or products is conducted on the premises.

- 3. A privacy fence or wall of at least six (6) feet in height above finished grade will be required along all property lines.
- 4. No processing of materials including, but not limited to, car crushing, car shredding, grinding, etc.
- 3. <u>Severability</u>: If a Section, Sub-section, or part of this Ordinance shall be deemed or found to conflict with a provision of South Carolina law, or other pre-emptive legal principle, then that Section, Sub-section, or part of this Ordinance shall be deemed ineffective, but the remaining parts of this Ordinance shall remain in full force and effect.
- 4. <u>Conflict with Preceding Ordinances</u>: If a Section, Sub-section or provision of this Ordinance shall conflict with the provisions of a Section, Sub-section or part of a preceding Ordinance of Horry County, then the preceding Section, Sub-section, or part shall be deemed repealed and no longer in effect.
- Effective Date: This Ordinance shall become effective upon third reading.
   AND IT IS SO ORDAINED, ENACTED AND ORDERED.

Dated this	day of	, 2019.

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### County Council Decision Memorandum Horry County, South Carolina

Date:

September 11, 2019

From:

Planning and Zoning

Division:

Infrastructure & Regulation

Prepared By:

Desiree Jackson, Assistant Zoning Administrator

Cleared By:

David Schwerd, Director of Planning

Regarding:

Commercial Zoning Districts

#### **ISSUE:**

Should Horry County revise the Commercial Zoning Districts to allow veterinary offices and boarding facilities with no outside boarding in the Transportation Related Services District (TRS) and add miniwarehouses with no outdoor storage back to Retailing and Consumer Services District (RCS)?

#### PROPOSED ACTION:

Approve the revision of the Commercial Zoning Districts.

#### RECOMMENDATION:

Staff recommends Approval.

#### BACKGROUND:

The county has received requests for veterinary offices and boarding facilities with no outside boarding in the TRS zoning districts. The TRS zoning district currently allows pet stores, offices and medical offices. Allowing veterinary offices and boarding facilities with no outside boarding would be consistent with the other allowed uses within this district.

There is an existing storage facility in the RCS zoning district. Mini-warehouse facilities with no outside storage was erroneously removed from the RCS zoning district. Adding this use back to the RCS district would simply fix an unintentional inconsistency.

#### **ANALYSIS:**

The proposed amendment will allow veterinary offices and boarding facilities with no outside boarding in the TRS zoning district and add mini-warehouses with no outside storage back to the RCS zoning district.

COUNTY OF HORRY	)	
	)	ORDINANCE NO
STATE OF SOUTH CAROLINA	)	

AN ORDINANCE TO AMEND APPENDIX B, ZONING, ARTICLE VII, SECTION 724 "COMMERCIAL ZONING DISTRICTS" OF THE HORRY COUNTY CODE OF ORDINANCES

WHEREAS, Horry County has received requests for veterinary offices and boarding facilities with no outside boarding in the Transportation Related Services District (TRS); and,

WHEREAS, TRS currently allows pet stores, offices and medical offices; and,

WHEREAS, allowing veterinary offices and boarding facilities with no outside boarding would be consistent with other allowed uses within this district; and,

WHEREAS, Horry County has found that Mini-warehouses with no outside storage were previously allowed in the Retailing and Consumer Services District (RCS); and,

WHEREAS, there are existing facilities in the RCS district and the use was erroneously removed in a previous amendment; and,

**WHEREAS**, it is the intent of the Horry County Council to reconcile the standards of the zoning ordinance.

**NOW THEREFORE**, by the power and authority granted to the Horry County Council by the Constitution of the State of South Carolina and the powers granted to the County by the General Assembly of the State, it is ordained and enacted that:

Amendment of Appendix B, Zoning Ordinance, Article VII, Section 724.
 Section 724 of the Zoning Ordinance is hereby amended as follows:
 (All text in strikethrough shall be deleted and all text shown underlined and bolded shall be-added)

724.3 Permitted, Conditional and Specific Allowed Uses

C = Conditional Use	SE = Special Exception
	C = Conditional Use

	DISTRI	CT			General or
Land Use	Commercial Recreation	Retailing and Consumer Services	Transportation Related Service	Education, Institution, and Office	Special Provisions Reference
ABC and liquor stores		P	P		
Advertising agencies		P	P	P	
Antique stores		P	P		
Appliance/furniture/equipment and other high bulk retail stores		P	P		
Art supply, book, magazine, newspaper, photographic and camera supply and service, office supply and equipment, hobby and toy stores		P	Р	P	
Auto accessory and part stores (no salvage facilities)		P	P		
Auto/boat/motorcycle/recreatio nal vehicle/truck/construction and farm equipment service and repair		С	С		1207
Auto/boat/motorcycle/recreatio nal vehicle/truck/construction and farm equipment sales		P	P		
Bakeries, retail (goods sold on- site)		P	P		
Banks, savings and loans institutions		P	P	P	

Bar	P/SE	P/SE	P/SE	P/SE	534
Barber/beauty shops		P	P	P	
Bicycle repair and sales		P	P	P	
Billiard halls	P	P	P		
Blood banks and donor centers		P		P	
Blueprint/photocopy/film processing stores		P	P	P	
Bowling alleys/skating rink	P	P	P		
Building cleaning and maintenance services		P	P	P	
Bus depots			P		
Campers or recreational vehicles	С		С		1200
Car washes	P	P	P		
Carpet and upholstery cleaning services		P	P		
Cemeteries	C	C	С	С	1203
Churches, synagogues, temples and other places of worship	C	С	С	С	1201
Apparel, clothing and accessory stores		P	P		
Clubs, fraternal lodges, union hall, and social centers	P	P	P	P	

Commercial art and photography services		P	P	P	
Commercial marinas	С				
Commercial parking lots or decks		P	P	P	
Computer rental, leasing and repair services		P	P	P	
Continuing care retirement communities (CCRC) and/or skilled nursing facilities				P	
Contractors office (with or without equipment storage)		P	P		522
Convenience stores (with or without gasoline)	С	С	C		537
Daycare centers	C	С	С	С	525
Dressmaker/seamstress/tailors		P	P	P	
Electric go-carts and raceway	P				
Electric bumper car amusements	P				
Employment and temporary agencies		P	P	P	
Equipment leasing	P	P	P	P	522
Fitness center	P	P	P	P	
Florists		P	P	P	
Fraternity/sorority houses				С	543

Funeral homes and crematories			P	P	
Garden supply stores or nurseries	P	P	P		
Gift shops	P	P	P		
Golf courses	P	P	P	P	
Grocery stores	>	P	P		
Group homes				P	
Hardware and home improvement stores		P	P		
Home health care services		P	P	P	
Hospitals			P	P	
Hotels, motels, and tourist homes	P	P	P	P	
Indoor theaters	P	P	P		
Laser tag arenas (indoors and outdoors)	P				
Laundromats/retail dry cleaners (including pick-up stations)		P	P	9.5	
Locksmith/gunsmith		P	P		
Miniature golf and driving ranges	P				
Medical and dental offices and clinics		P	P	P	

Mini-warehouses (No outside storage)		<u>P</u>			
Mini-warehouses (outside storage)			Р		
Offices (business, general purpose, professional/business)		P	P	P	
Optical stores		P	P	P	
Outpatient treatment facilities				SE	544
Pest control services		P	P	P	
Pet stores		P	P		
Pharmacies		P	P	P	
Piers or docking facilities (commercial)	P		P		
Public and private education facilities				P	
Public or private utility substations and subinstallations	P	P	P	P	
Railroad depots for passengers and freight service			P		
Radio/TV broadcasting stations			P	P	
Repair shops for personal and professional household appliances		P	P		
Residential*	C	C	C	C	708

Restaurants	P	P	P	P	
Retail (general)		P	P		
Schools that provide specialized teaching in art, music, drama, and dancing		P	P	P	
Vocational and technical schools		P	P	P	
Sewing and piece goods stores		P	Р		
Shoe repair and sales shops		P	P		
Shopping centers, malls, and associated out-parcels		P	P		
Sports facilities (indoor or outdoor)	P				
Trade shops		P	P		
Upholstery and furniture refinishing stores		P	P		
Veterinary offices and boarding facilities (No outside boarding)		P	<u>P</u>	P	
Video and music stores (non-adult)		P	P		
Waterslides	P				

<sup>\*</sup> = Any residential use consistent with those allowed in Section 708 GR "n" of the Zoning Ordinance are permitted as a conditional use in each district.

- 3. <u>Severability</u>: If a Section, Sub-section, or part of this Ordinance shall be deemed or found to conflict with a provision of South Carolina law, or other pre-emptive legal principle, then that Section, Sub-section, or part of this Ordinance shall be deemed ineffective, but the remaining parts of this Ordinance shall remain in full force and effect.
- 4. <u>Conflict with Preceding Ordinances</u>: If a Section, Sub-section or provision of this Ordinance shall conflict with the provisions of a Section, Sub-section or part of a preceding Ordinance of Horry County, then the preceding Section, Sub-section, or part shall be deemed repealed and no longer in effect.
- 5. Effective Date: This Ordinance shall become effective upon third reading.
  AND IT IS SO ORDAINED, ENACTED AND ORDERED.

D + 1.11	J C	, 2019.
Dated this	day of	, 2019.

### HORRY COUNTY PLANNING COMMISSION

**CHAIRMAN** 

Term Expires: 6/30/21

District #6

**Steven Neeves** 

Cell: 843-251-2100

3 Sioux Trail

Myrtle Beach, SC 29588 e-mail: jsneeves@gmail.com

**VICE CHAIRMAN** 

Term Expires: 6/30/20

Term Expires: 6/30/21

District #4

Marvin Heyd 7421 N. Kings Hwy.

Office: 843-315-0238 843-267-7623

Cell:

Myrtle Beach, SC 29572

e-mail: Marvin@bhhsmyrtlebeach.com

**Ierome Randall** 

PO Box 93

Cell:

843-602-3368 Home: 843-280-5749

District #1

Little River, SC 29566

e-mail: jerome.randall@hgcdefender.org

Term Expires: 6/30/23

District #2

Pam Cecala

Office: 843-424-8280

Home: 843-903-0500

Taylor Architecture, PA PO Box 51434

Myrtle Beach, SC. 29579

e-mail: ptarch@sccoast.net

**Chuck Rhome** 

415 McKendree Lane Myrtle Beach, SC 29579

e-mail: rrhome@sc.rr.com

Term Expires: 6/30/23

District #3

Joey Ray

Cell:

Cell:

843-877-2496

843-222-4428

Term Expires: 6/30/21

District #5

568 Mt. Gilead RD

Murrells Inlet, SC 29576

e-mail: joeyray742@gmail.com

Term Expires: 6/30/21

District #7

Chris Hennigan

1910 Winburn Street Conway, SC 29527

e-mail chriswhennigan@yahoo.com

Term Expires: 6/30/20

District #8

**Burnett Owens** 

121 Citadel Dr.

Conway, SC 29526

Office: 843-347-4794 Cell: 843-340-1260

Office: 843-916-7173

e-mail: owensbj@sccoast.net

Term Expires: 6/30/22

District #9

**Martin Dawsey** 

4432 Plantation Harbor Dr. Little River, SC 29566

e-mail: mdawsey@bellamylaw.com

Term Expires: 6/30/22

District #10

**Jody Prince** 

3090 Graceland Rd Loris, SC 29569

e-mail jody@jodyprince.com

Term Expires: 6/30/22 District #11

**Charles Brown** 

6876 Cates Bay Hwy Conway, SC 29527

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